



Planning Division
Development Services Department
300 North Coast Highway | Oceanside, CA 92054
(760) 435-4373 | PlanningStaff@OceansideCA.org

Staff Reviewers: Please complete the Developer's Conference comment sheet template and attach to the TRAKiT record by the end of day on the day before the meeting.

OCEANSIDE DEVELOPER'S CONFERENCE* AGENDA

Wednesday, July 30, 2025

Meeting 1: 9:30 a.m. – 10:30 a.m.

Project Description: Proposed new 4-story affordable mixed-use residential building consisting of 15 residential units including -2 affordable & 1 commercial unit located at 1026-1032 S. Tremont on a 20,000 SF vacant lot.

Project Number: ADM25-00038

Assessor Parcel Number(s): 152-011-11-00 & 152-011-12-00

Contact Person: Aaron Borja

Email: aaronb@architectslocal.com

Zoning: D-2

Land Use: DT

Neighborhood Area: Townsite

Meeting 2: 10:30 a.m. – 11:30 a.m.

Project Description: Proposed new 4-story affordable mixed-use residential building consisting of 18 residential units including -2 affordable & 2 commercial unit located at 1609-1615 S. Coast Hwy on a 12,000 SF 1-story commercial retail lot.

Project Number: ADM25-00039

Assessor Parcel Number(s): 153-111-12-00 & 153-111-13-00

Contact Person: Aaron Borja

Email: aaronb@architectslocal.com

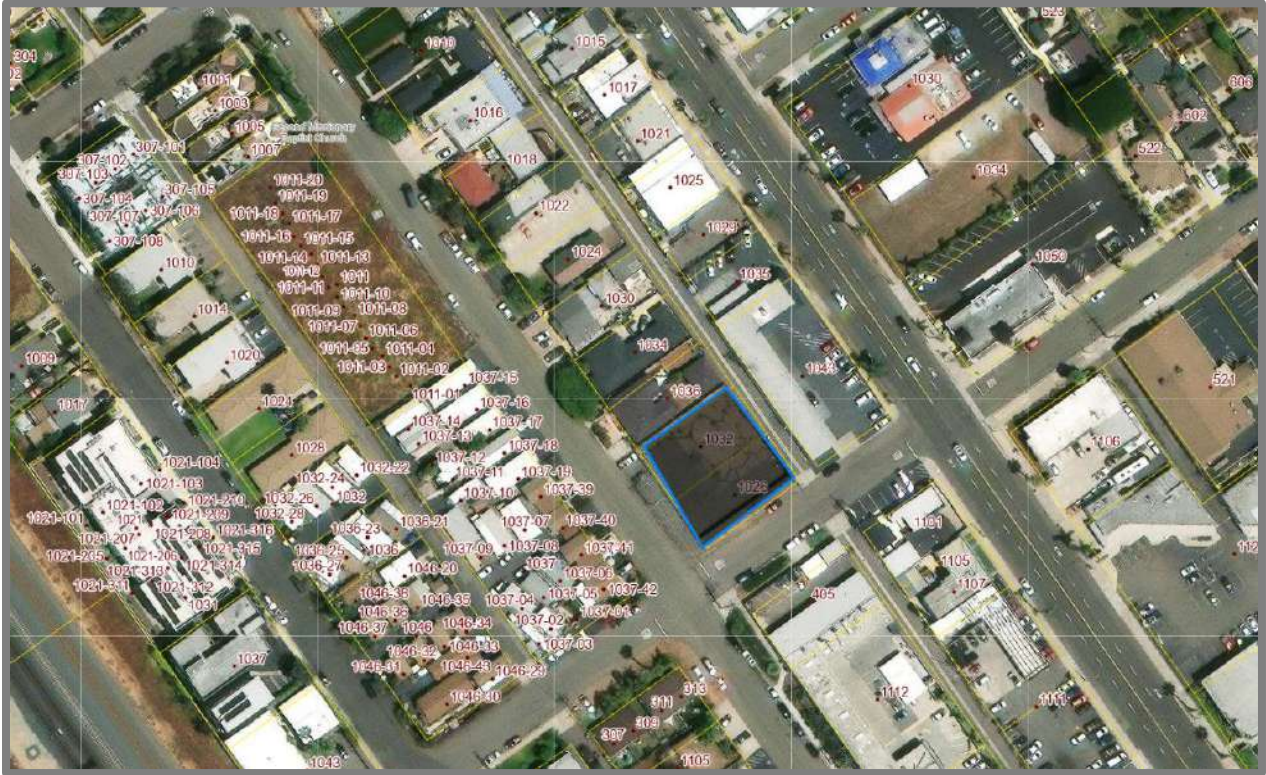
Zoning: D-2

Land Use: DT

Neighborhood Area: Townsite

** The Developer's Conference provides an informal forum for prospective applicants to receive preliminary input from City staff on conceptual plans that may or may not ultimately evolve into formal application submittals. These conferences do not constitute public meetings; consequently, conference attendance by the public is at the discretion of the prospective applicant. Interested parties may contact the prospective applicant, whose contact information is included on the conference agenda. Questions and comments can also be addressed to Planning Division staff.*

ITEM 1





Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: 1026-1032 S Tremont

Assessor's Parcel Number: 423-091-21-00 Lot Area (acres or SF): 20,000 SF

Existing Use: Vacant lot

Brief Description of Proposal:
Proposed 4-story affordable mixed use residential building

Property Owner & Applicant Information

Owner Name: Oceanside Ventures (Contact:Aaron Ruby)

Phone Number & E-Mail Address: 6193073388 aruby@srmurban.com

Applicant Name: Aaron Borja

Phone Number & E-Mail Address: 6193334863 aaronb@architectslocal.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf: Aaron Ruby
Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options)

1st choice date: June 11 Time preference: 9:30 am 10:30 am either

2nd choice date: June 25th Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other Landscape

Email the following PDF documents to PlanningStaff@oceansideca.org:

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: July 30, 2025 Time: 09:30 a.m.

Assigned Project Planner: Dane Thompson



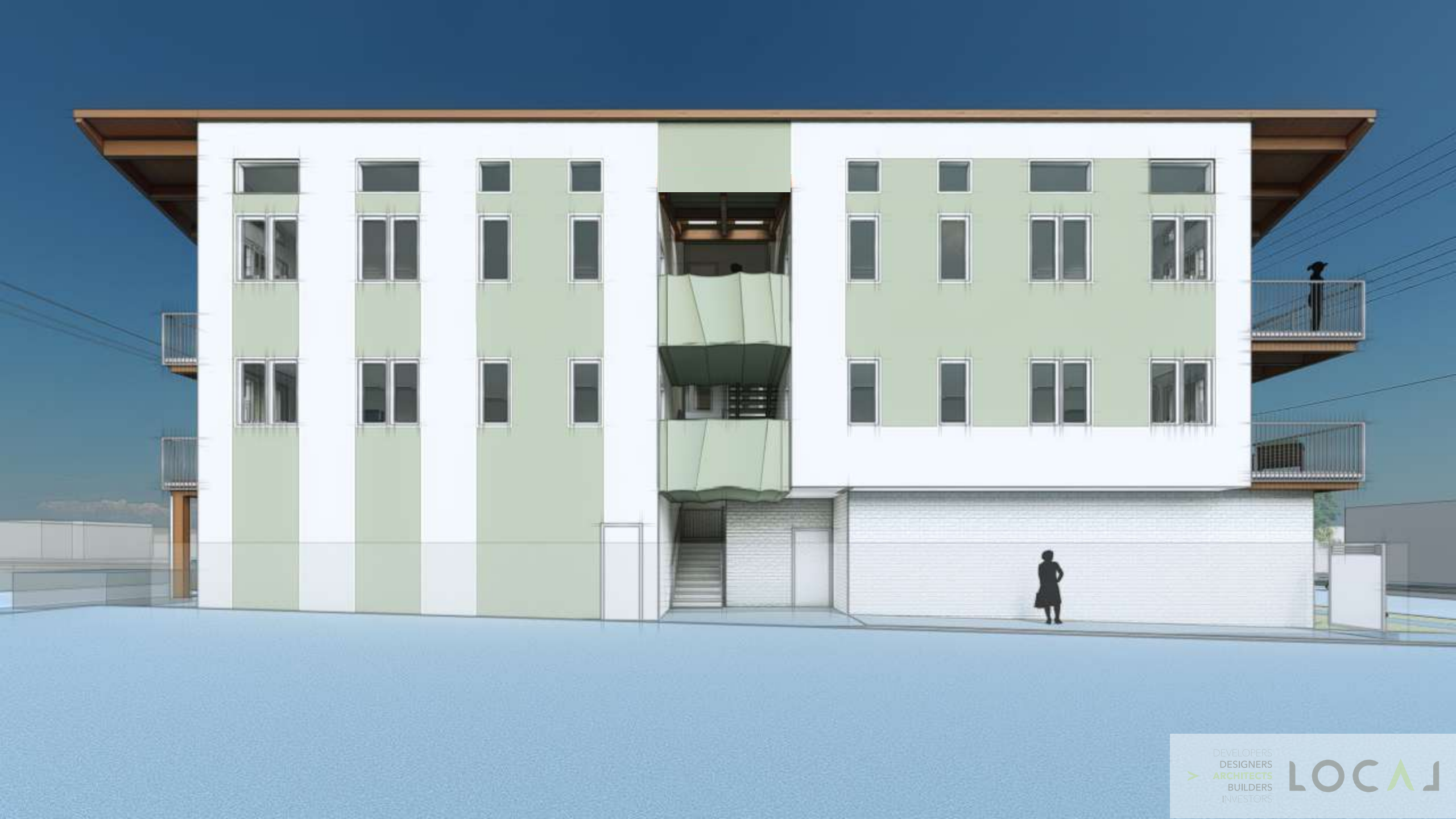














S. TREMONT - MIXED USE

16-UNIT, MULTI-FAMILY W/ AFFORDABLE HOUSING AND COMMERCIAL

GOVERNING CODES

- 2022 California Residential Code, Title 24, part 2.5
- 2022 California Green Building Standards Code, Title 24, part 11
- 2022 California Building Code, Title 24, part 2, Volumes I and II
- 2022 California Mechanical Code, Title 24, part 4
- 2022 California Plumbing Code, Title 24, part 5
- 2022 California Fire Code, Title 24, part 9
- 2022 California Electrical Code, Title 24, part 3
- 2022 California Building Energy Efficiency Standards, Title 24, part 6

PROJECT TEAM

OWNER:
OCEANSIDE VENTURES LLC
AARON RUBY
5694 MISSION CENTER RD, STE 602-120
SAN DIEGO, CA 92108
(619) 501-3100
ARUBY@SRMURBAN.COM

ARCHITECT:
ARCHITECTS LOCAL
AARON A BORJA
740 13TH ST., SUITE 504
SAN DIEGO, CA 92101
(619) 535-0537 EXT. 104
AARONB@ARCHITECTSLOCAL.COM

LANDSCAPE ARCHITECT:
CALIFORNIA LANDSCAPE TECHNOLOGIES
STEVEN SHERMAN
3885 VISTA CAMPANA N, STE 41
OCEANSIDE, CA 92057
(760) 809-3241
CLTLANDARCH@GMAIL.COM

CIVIL/SURVEY:
PLSA
ZACK SIKORA
119 ABERDEEN DR
CARDIFF, CA 92007
(619) 813-2943
ZSIKORA@PLSAENGINEERING.COM

VICINITY MAP



CALIFORNIA BUILDING CODE AREA

COMMERCIAL	
LEVEL ONE:	674 SF
RESIDENTIAL	
LEVEL ONE:	948 SF
LEVEL TWO:	5,924 SF
LEVEL THREE:	5,924 SF
LEVEL FOUR:	3,088 SF

MISC. (STAIRS, MECH, ETC)

LEVEL ONE:	5,191 SF
LEVEL TWO:	596 SF
LEVEL THREE:	596 SF
LEVEL FOUR:	1,424 SF
COVERED PARKING:	4,299 SF
PRIVATE DECKS:	1,633 SF

CALIFORNIA BUILDING CODE AREA: 24,364 SF

RESIDENTIAL SCHOOL FEE AREA: 15,884 SF

COMMERCIAL SCHOOL FEE AREA: 674 SF

AFFORDABLE HOUSING DENSITY BONUS

- 10 BASE UNITS - 2 VERY LOW INCOME AFFORDABLE UNIT
- 2/10 = 20% AFFORDABLE
- ≥ 15% VERY LOW INCOME AFFORDABLE = 50% DENSITY BONUS
- ≥ 15% VERY LOW INCOME AFFORDABLE = 4 INCENTIVES
- 10 X 50% BONUS = 5 BONUS UNITS
- 15 UNITS TOTAL
 - 13 MARKET RATE
 - 2 VERY LOW INCOME

UNIT SUMMARY

- (P) 4-STORY MULTI-FAMILY RESIDENTIAL BUILDING
- (P) LEVEL 1: (1) 1-BED UNITS; (1) COMMERCIAL UNIT; (16) PARKING STALLS
- (P) LEVEL 2: (2) 1-BED UNITS; (4) 2-BED UNITS
- (P) LEVEL 3: (2) 1-BED UNITS; (4) 2-BED UNITS
- (P) LEVEL 4: (2) 3-BED UNITS

RESIDENTIAL
AVERAGE GROSS UNIT SIZE: 1,059 SF
LARGEST GROSS UNIT SIZE: 1,544 SF
TOTAL GROSS UNIT AREA: 15,884 SF

COMMERCIAL
TOTAL GROSS UNIT AREA: 713 SF

PROJECT INFORMATION

ADDRESS: 1026-1032 S TREMONT OCEANSIDE, CA 92054
APN: 152-011-11-00
152-011-12-00

LEGAL DESCRIPTION:

BLOCK: BLK 3
LOT: LOT 13-14
MAP: 000163
SUBDIVISION: JARVIS ADD
ZONING: C2/CZ
OVERLAY ZONE: COASTAL OVERLAY ZONE
DATE BUILT: N/A

(E) OCCUPANCY: N/A
(P) OCCUPANCY: R-2/B/S-2

(E) CONSTRUCTION TYPE: N/A
(P) CONSTRUCTION TYPE: V-A

(E) SPRINKLERED: N/A
(P) SPRINKLERED: YES

(E) USE: PARKING LOT (NO EXISTING STRUCTURES)
(P) USE: MIXED USE COMMERCIAL AND RESIDENTIAL

(E) NUMBER OF STORIES: N/A
(P) NUMBER OF STORIES: 4

(E) BUILDING HEIGHT: N/A
(P) BUILDING HEIGHT: 48' - 0"

OMC ZONING DATA

SETBACKS:

(E) RESIDENTIAL (R2):
(E) FRONT: 20'
(E) SIDE: 5'
(E) STREET SIDE: 10'
(E) REAR: 15'

(P) RESIDENTIAL (R2):

(P) FRONT: 3'
(P) SIDE: 4'
(P) STREET SIDE: 4'
(P) REAR: 4'

(E) COMMERCIAL (C2):

(E) FRONT: 15'
(E) SIDE: 0'
(E) STREET SIDE: 10'
(E) REAR: 5'

(P) COMMERCIAL (C2):

(P) FRONT: 15'
(P) SIDE: 0'
(P) STREET SIDE: 4'
(P) REAR: 2.5'

HEIGHT:

MAX ZONE HEIGHT: 45'
PROPOSED HEIGHT: 48'

LOT COVERAGE:

MAX COVERAGE: 60%
(E) LOT COVERAGE: 0/10,000 = 0%
(P) LOT COVERAGE: 7,537/10,000 = 75.37%

FLOOR AREA RATIO:

MAX FAR: UNLIMITED
EXISTING GROSS FAR: 0/10,000 = .00
NEW GROSS FAR: 23,233/10,000 = 2.32

INCENTIVES AND WAIVERS REQUEST

SETBACK REDUCTIONS

- FRONT RESIDENTIAL 20' SETBACK REDUCED TO 3'
- FRONT COMMERCIAL 15' SETBACK REDUCED TO 4'
- REAR COMMERCIAL 15' SETBACK REDUCED TO 3'
- STREET SIDE RESIDENTIAL 5' SETBACKS REDUCED TO 4'
- STREET SIDE COMMERCIAL 10' SETBACKS REDUCED TO 4'

LOT COVERAGE INCREASE

- LOT COVERAGE 60% INCREASED TO 76%

HEIGHT INCREASE

- OVERALL 45' HEIGHT INCREASED TO 48'

COMMERCIAL PARKING

- COMMERCIAL PARKING REQUIREMENTS REDUCED TO 0

SCOPE OF WORK

NEW MIXED USE CONSTRUCTION (23,233 SF)
4 LEVELS, 15 RESIDENTIAL UNITS INCLUDING 2 AFFORDABLE UNITS &
1 COMMERCIAL UNIT

SHEET INDEX

01-GENERAL	
G001	TITLE SHEET
G200	FIRE ACCESS PLAN
G251	CBC AREA CALCULATIONS
G301	OPENNESS PERCENTAGE ANALYSIS
02-CIVIL	
C001	TENTATIVE PARCEL MAP/DEVELOPMENT
C002	PRELIMINARY GRADING PLAN
03-LANDSCAPE	
T001	CONCEPTUAL LANDSCAPE TITLE SHEET
L100	CONCEPTUAL LANDSCAPE PLAN
04-ARCHITECTURAL	
A002	ACCESSIBILITY PLAN
A010	ARCHITECTURAL SITE PLAN
A051	BOUNDARY & TOPOGRAPHIC SURVEY MAP
A201	FLOOR PLAN - LEVEL 1
A202	FLOOR PLAN - LEVEL 2
A203	FLOOR PLAN - LEVEL 3
A204	FLOOR PLAN - LEVEL 4
A210	ROOF PLAN
A301	BUILDING ELEVATION - NORTH & SOUTH
A302	BUILDING ELEVATION - EAST AND WEST
A303	BUILDING ELEVATION - INTERIOR
A351	BUILDING SECTIONS - LONGITUDINAL
A352	BUILDING SECTIONS - LONGITUDINAL
A353	BUILDING SECTIONS - TRANSVERSE
A354	SITE SECTIONS - TRANSVERSE
TOTAL SHEETS: 23	

OCEANSIDE VENTURES, LLC

1026-1032 S Tremont St
Oceanside, CA 92054

S TREMONT ST MIXED USE

APN: 152-011-11-00
APN: 152-011-12-00

NET UNIT AREA

Unit	Bed Count	Net Interior Area
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LEVEL 1

COMMERCIAL 1	COMMERCIAL	648 SF
PATIO	PATIO	122 SF
UNIT 101	1 BED	886 SF

LEVEL 2

UNIT 201	2 BED	1,000 SF
UNIT 202	1 BED	745 SF
UNIT 203	1 BED	745 SF
UNIT 204	2 BED	1,000 SF
UNIT 205	2 BED	971 SF
UNIT 206	2 BED	970 SF

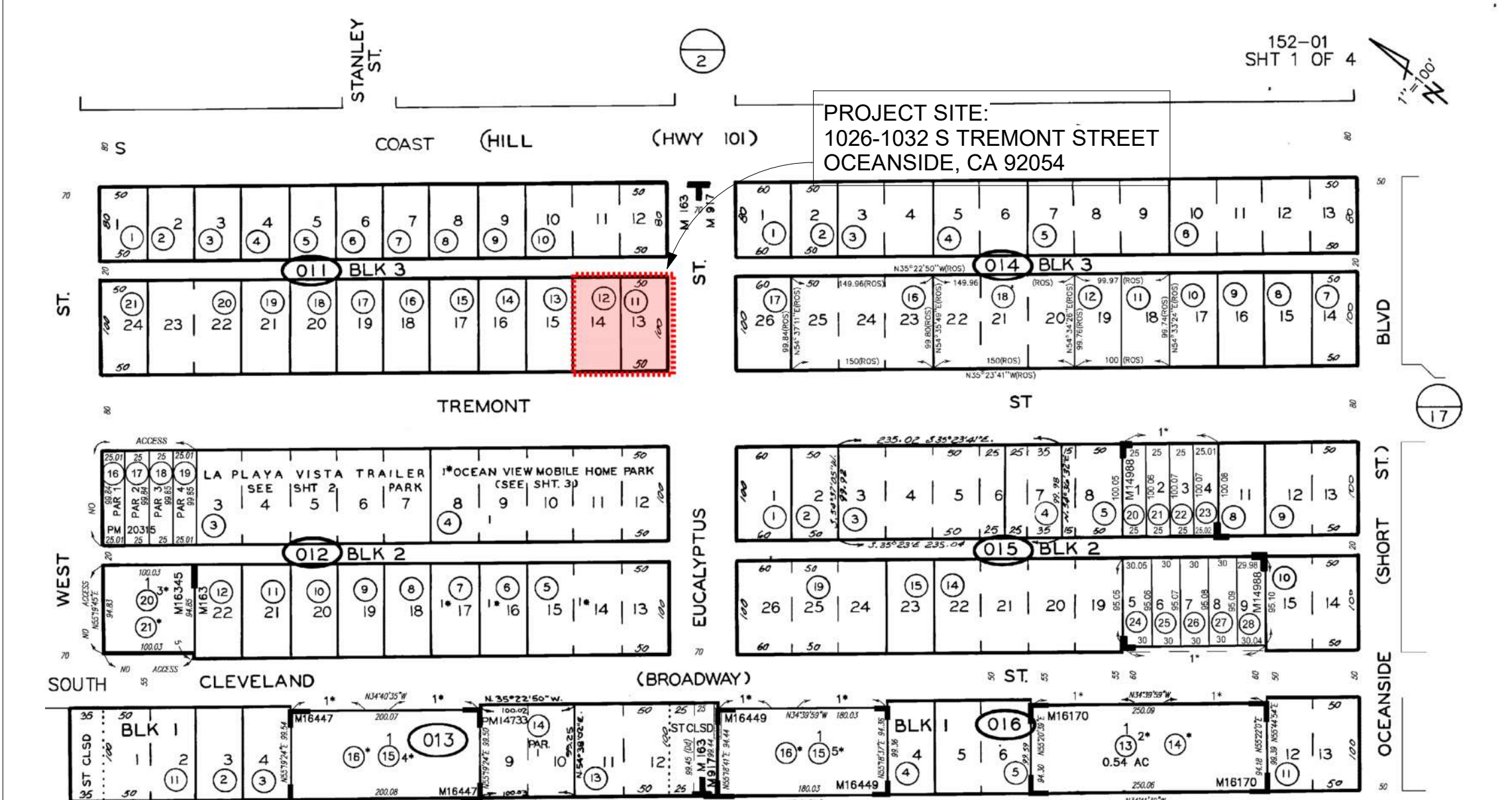
LEVEL 3

UNIT 301	2 BED	995 SF
UNIT 302	1 BED	745 SF
UNIT 303	1 BED	745 SF
UNIT 304	2 BED	1,000 SF
UNIT 305	2 BED	972 SF
UNIT 306	2 BED	970 SF

LEVEL 4

UNIT 401	3 BED	1,416 SF
UNIT 402	3 BED	1,420 SF
Units: 17		15,350 SF

PARCEL MAP



NO.	ISSUANCE/REVISION:	DATE:
1	DEV. CONFERENCE	07/30/25

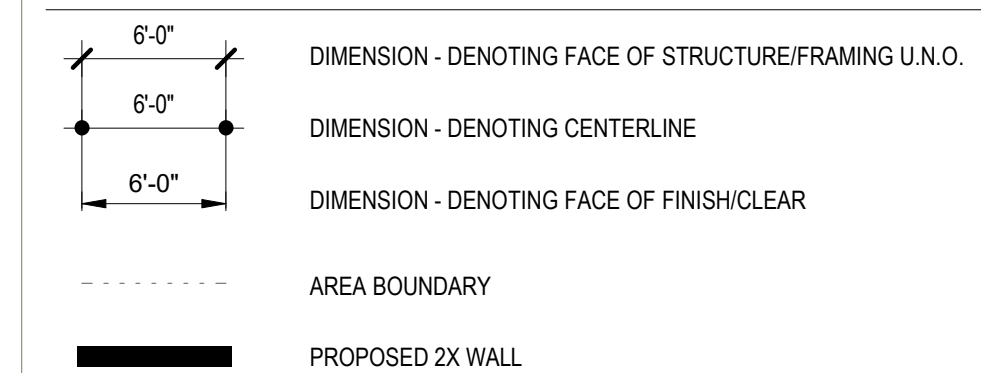
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DATE: AL PROJECT NUMBER:
25-07-30 1-240314
SCALE: AHJ PROJECT NUMBER:
As indicated

TITLE SHEET

G001

LEGEND - AREA PLAN



GROSS RESIDENTIAL AREA

Number	Name	Gross Area
LEVEL 1		
UNIT 101	1 BED	948 SF
LEVEL 1: 1		948 SF
LEVEL 2		
UNIT 201	1 BED	808 SF
UNIT 202	1 BED	808 SF
UNIT 203	2 BED	1,076 SF
UNIT 204	2 BED	1,076 SF
UNIT 205	2 BED	1,051 SF
UNIT 206	2 BED	1,052 SF
LEVEL 2: 6		5,871 SF
LEVEL 3		
UNIT 301	1 BED	808 SF
UNIT 302	1 BED	808 SF
UNIT 303	2 BED	1,076 SF
UNIT 304	2 BED	1,076 SF
UNIT 305	2 BED	1,051 SF
UNIT 306	2 BED	1,052 SF
LEVEL 3: 6		5,871 SF
LEVEL 4		
UNIT 401	3 BED	1,528 SF
UNIT 402	3 BED	1,531 SF
LEVEL 4: 2		3,059 SF
Grand total: 15		15,749 SF

OCEANSIDE VENTURES, LLC

1026-1032 S Tremont St
Oceanside, CA 92054

S TREMONT ST MIXED USE

APN: 152-011-11-00
APN: 152-011-12-00

GROSS BUILDING AREA

Name	Gross Area	Level
LEVEL 1		
1 BED	948 SF	LEVEL 1
COMMERCIAL	674 SF	LEVEL 1
COVERED PARKING 1	Not Enclosed	LEVEL 1
COVERED PARKING 2	2,185 SF	LEVEL 1
ELEC. 1	176 SF	LEVEL 1
ELEC. 2	12 SF	LEVEL 1
REFUSE	213 SF	LEVEL 1
STAIR 1	227 SF	LEVEL 1
STAIR 2	245 SF	LEVEL 1
LEVEL 1: 9		4,680 SF
LEVEL 2		
1 BED	808 SF	LEVEL 2
1 BED	808 SF	LEVEL 2
2 BED	1,076 SF	LEVEL 2
2 BED	1,076 SF	LEVEL 2
2 BED	1,051 SF	LEVEL 2
2 BED	1,052 SF	LEVEL 2
STAIR 1	228 SF	LEVEL 2
STAIR 2	368 SF	LEVEL 2
LEVEL 2: 8		6,467 SF
LEVEL 3		
1 BED	808 SF	LEVEL 3
1 BED	808 SF	LEVEL 3
2 BED	1,076 SF	LEVEL 3
2 BED	1,076 SF	LEVEL 3
2 BED	1,051 SF	LEVEL 3
2 BED	1,052 SF	LEVEL 3
STAIR 1	228 SF	LEVEL 3
STAIR 2	368 SF	LEVEL 3
LEVEL 3: 8		6,467 SF
LEVEL 4		
3 BED	1,528 SF	LEVEL 4
3 BED	1,531 SF	LEVEL 4
BRIDGE	601 SF	LEVEL 4
MECH	275 SF	LEVEL 4
MECH	275 SF	LEVEL 4
STAIR 1	246 SF	LEVEL 4
STAIR 2	195 SF	LEVEL 4
LEVEL 4: 7		4,652 SF
Grand total: 32		22,265 SF

NO.	ISSUANCE/REVISION:	DATE:
1	DEV. CONFERENCE	07/30/25

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DATE: AL PROJECT NUMBER:

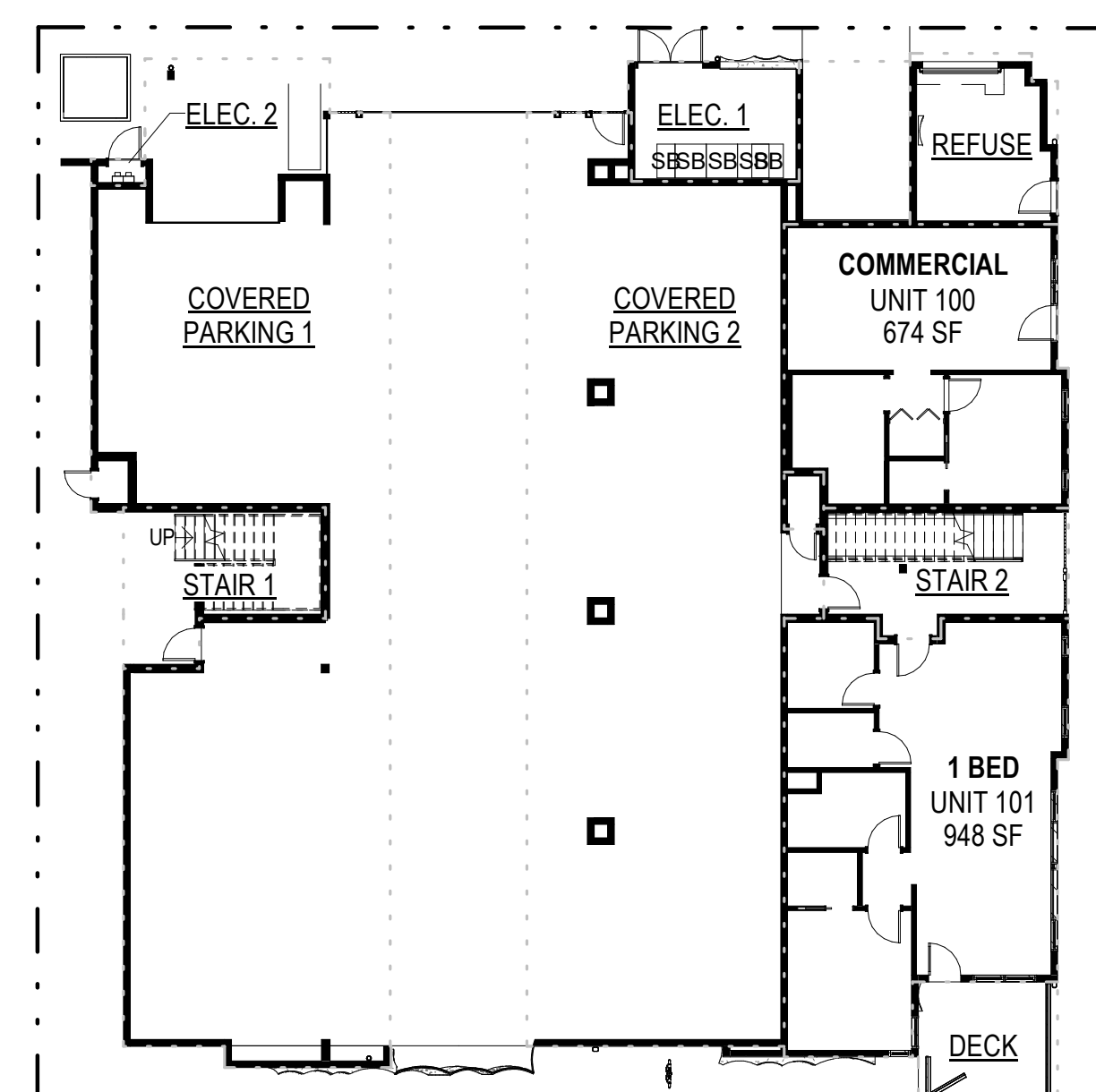
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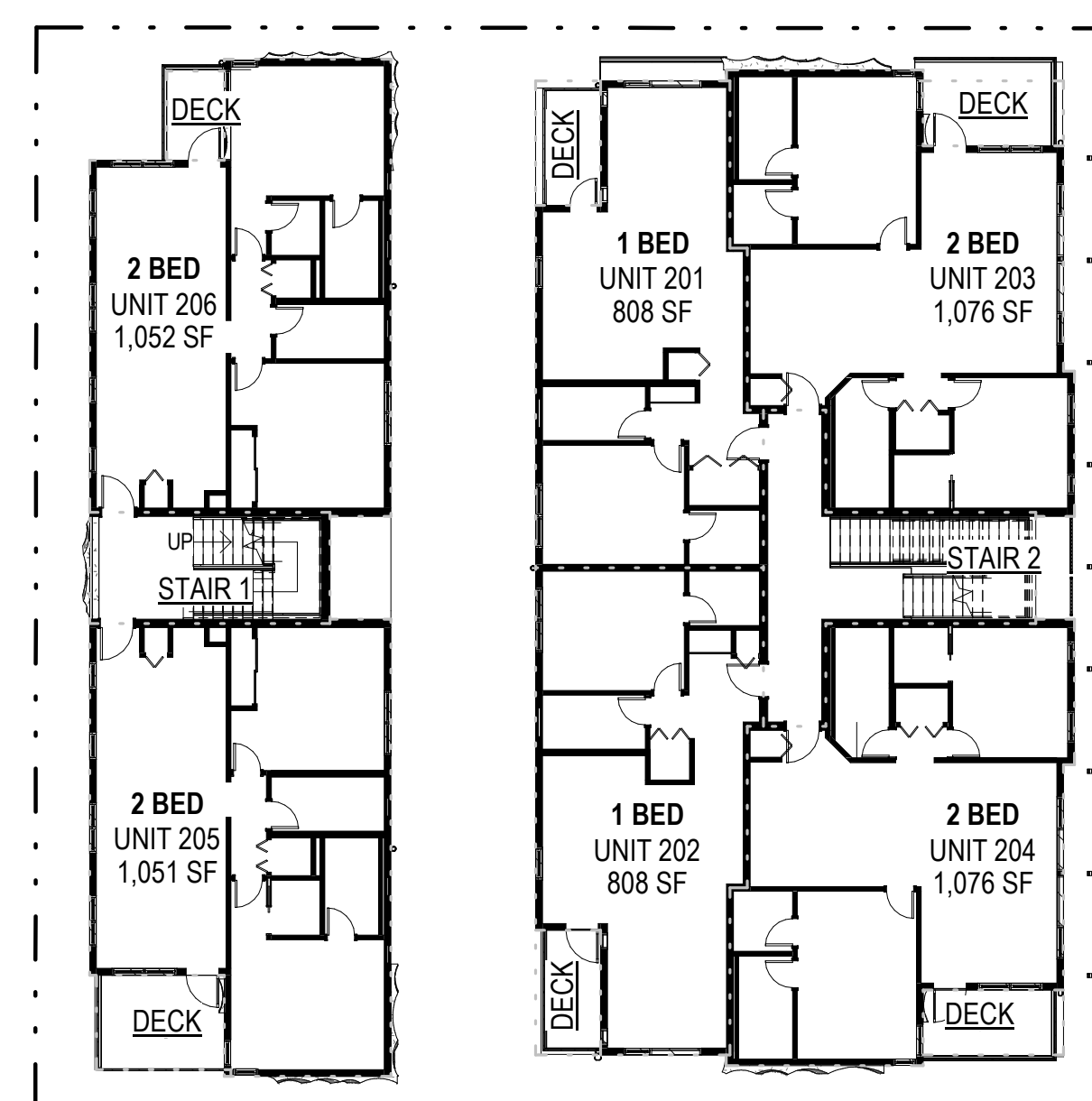
As indicated

CBC AREA CALCULATIONS

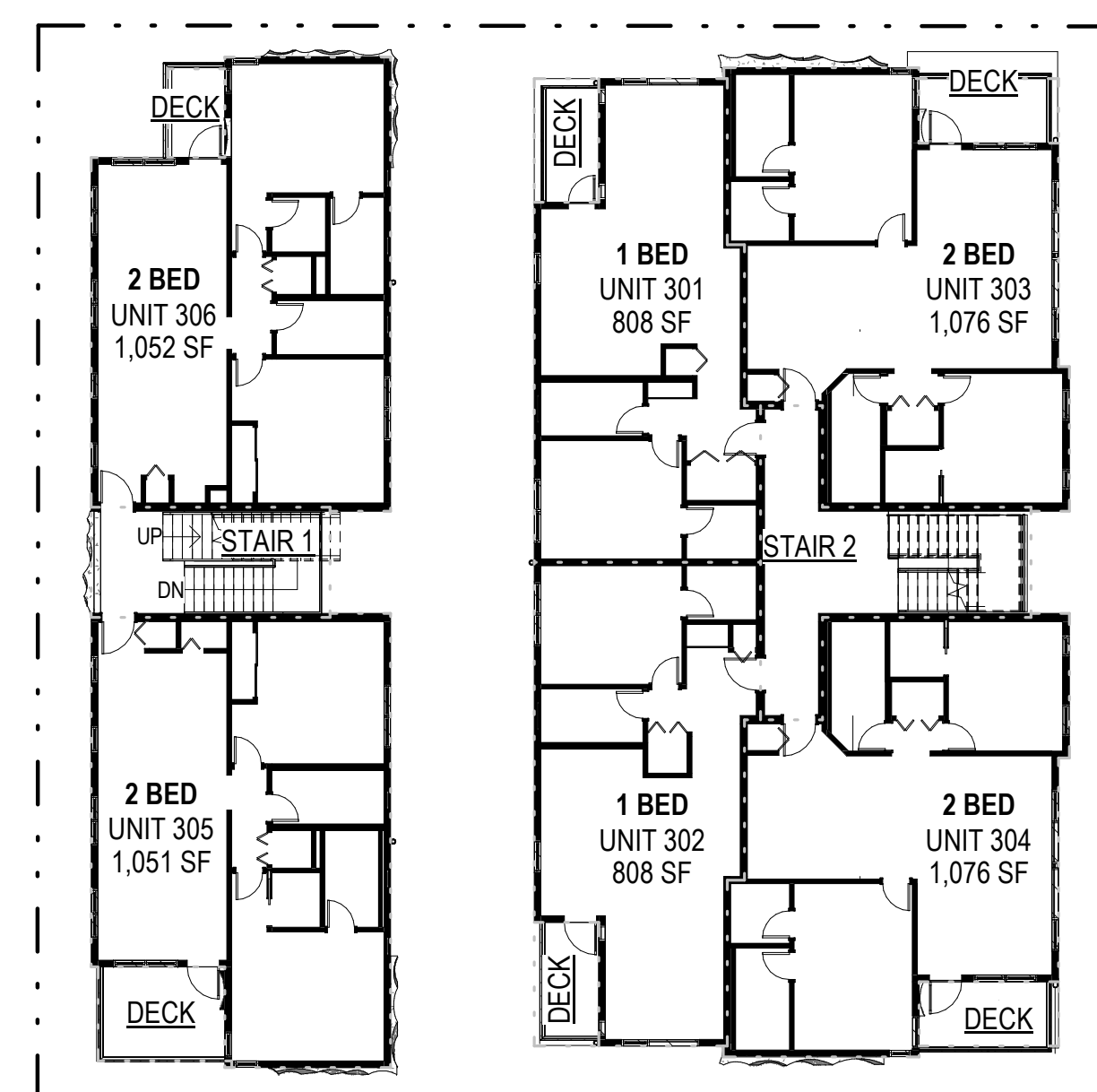
G251



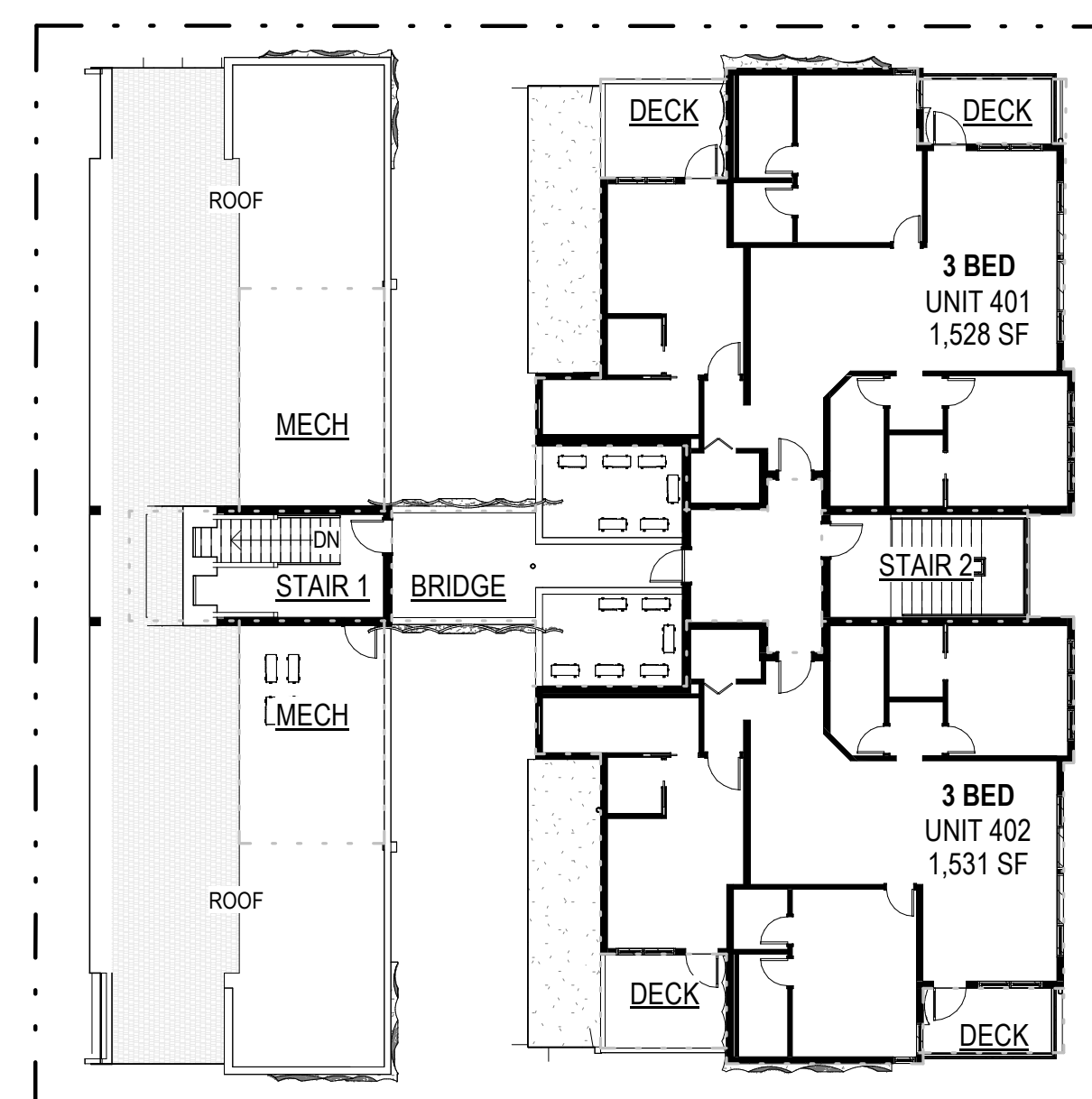
1 AREA PLAN - LEVEL 1
1/16" = 1'-0"



2 AREA PLAN - LEVEL 2
1/16" = 1'-0"




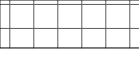

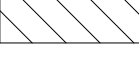
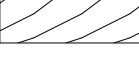



3 AREA PLAN - LEVEL 3
1/16" = 1'-0"



4 AREA PLAN - LEVEL 4
1/16" = 1'-0"

LEGEND - OPENING PERCENTAGES

REFER TO TABLE 705.8. ALL OPENINGS TAKEN FROM FACE OF BALCONY U.N.O.

-  0 TO LESS THAN 3 FT.; NOT PERMITTED.
-  3 TO LESS THAN 5 FT.; MAXIMUM ALLOWED 15%.
-  5 TO LESS THAN 10 FT.; MAXIMUM ALLOWED 25%.
-  10 TO LESS THAN 15 FT.; MAXIMUM ALLOWED 45%.
-  15 TO LESS THAN 20 FT.; MAXIMUM ALLOWED 75%.
-  20 TO LESS THAN 25 FT.; NOT REQUIRED.
-  25 FT OR GREATER; NOT REQUIRED.
-  ELEVATIONS FACING THE RIGHT OF WAY. SUPERCEDES OPEN AREA CALCULATION.

OPENING SQ. FT.	ACTUAL OPENING % IN WALL	MAX. ALLOWABLE %
WALL AREA SQ. FT.		

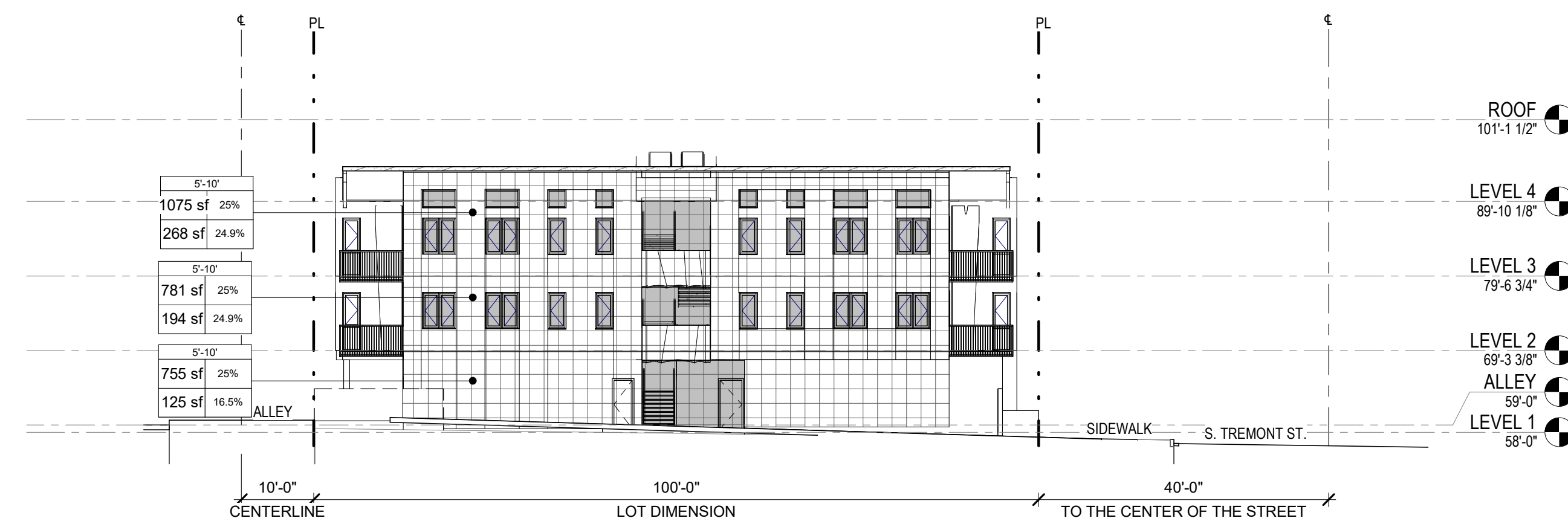
OPEN AREA CALCULATION

OCEANSIDE VENTURES, LLC

1026-1032 S Tremont St
Oceanside, CA 92054

S TREMONT ST MIXED USE

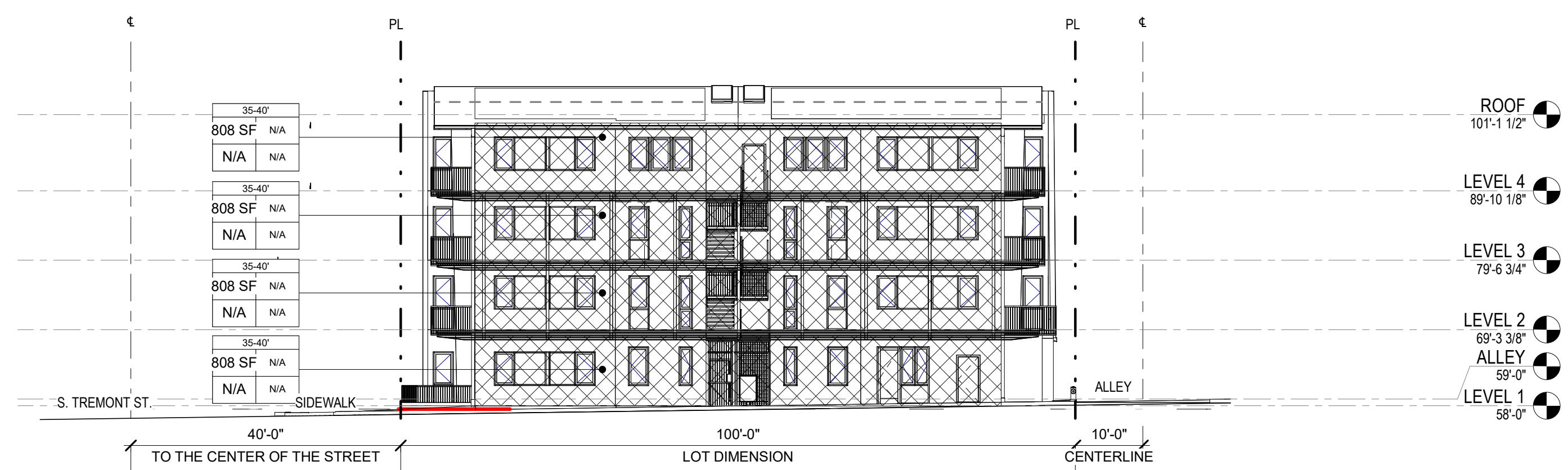
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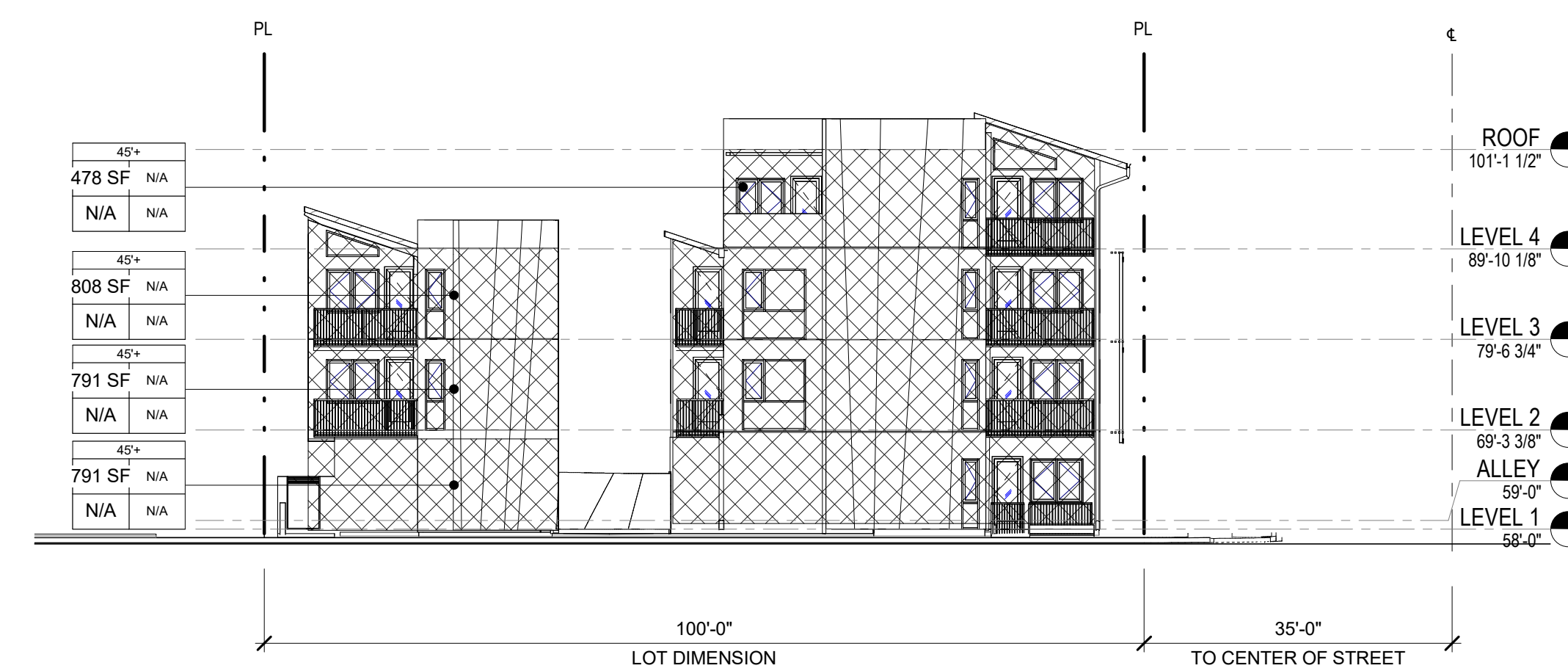
2 NORTH - OPENING %
1/16" = 1'-0"



1 EAST - OPENING %
1/16" = 1'-0"



3 SOUTH - OPENING %
1/16" = 1'-0"



4 WEST - OPENING %
1/16" = 1'-0"

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1	DEV. CONFERENCE	07/30/25

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DATE: 25-07-30 AL PROJECT NUMBER: 1-240314

SCALE: As indicated AHJ PROJECT NUMBER:

OPENNESS PERCENTAGE ANALYSIS

G301

RD25-XXXXX

DEVELOPMENT PLAN / REGULAR COASTAL PERMIT

1032 S TREMONT ST

LEGEND

PUBLIC RIGHT-OF-WAY	=====
PROPERTY BOUNDARY	-----
CENTERLINE OF ROAD	- - - - -
ADJACENT PROPERTY LINE	- - - - -
SETBACK LINE	-----

EXISTING EASEMENTS

THERE ARE NO EXISTING EASEMENTS OF RECORD ENCUMBERING THE PROPERTY ACCORDING TO THE PRELIMINARY TITLE REPORT ISSUED BY STEWART TITLE COMPANY, DATED APRIL 22, 2025.

PROPOSED EASEMENTS

NO EASEMENTS ARE PROPOSED AS PART OF THIS APPLICATION.

SETBACKS

FRONT YARD SETBACK (FYSB)	20' (PER ZONE)
REAR YARD SETBACK (RYSB)	15' (PER ZONE)
SIDE YARD SETBACK (SYSB)	5' (PER ZONE)

*SETBACKS PER CITY OF OCEANSIDE ZONING ORDINANCE.

ZONING INFORMATION

GENERAL PLAN DESIGNATION:	C2/CZ	PRESENT USE: COMMERCIAL / PARKING LOT
PRESENT ZONING REQUIREMENTS:	C2/CZ	PROPOSED USE: MIXED-USE
BUILDING HEIGHT:	35 FEET*	TOTAL UNITS: X15 RESIDENTIAL

*BUILDING HEIGHT ALLOWED IS 35 FEET/ 3 STORIES

UTILITIES

WATER	CITY OF OCEANSIDE WATER UTILITIES DISTRICT
FIRE	OCEANSIDE FIRE PROTECTION DISTRICT
SEWER	CITY OF OCEANSIDE
ELEMENTARY SCHOOL	OCEANSIDE UNIFIED SCHOOL DISTRICT
HIGH SCHOOL	OCEANSIDE HIGH SCHOOL DISTRICT

FEMA INFORMATION

FEMA FLOOD ZONE: ZONE X / NOT LOCATED WITHIN SPECIAL FLOOD ZONE
 FIRM COMMUNITY PANEL: 06073C0761H
 EFFECTIVE DATE: DECEMBER 20, 2019

SCOPE OF WORK

THIS PROJECT SEEKS APPROVAL TO DEMOLISH ALL EXISTING ON-SITE STRUCTURES AND CONSTRUCT A 4-LEVEL MIXED-USE MULTI-RESIDENTIAL DEVELOPMENT CONSISTING OF 15 NEW RESIDENTIAL UNITS. THIS PROJECT SEEKS APPROVAL FOR A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, CONDITIONAL USE PERMIT AND REGULAR COASTAL PERMIT.

SITE ACCESS

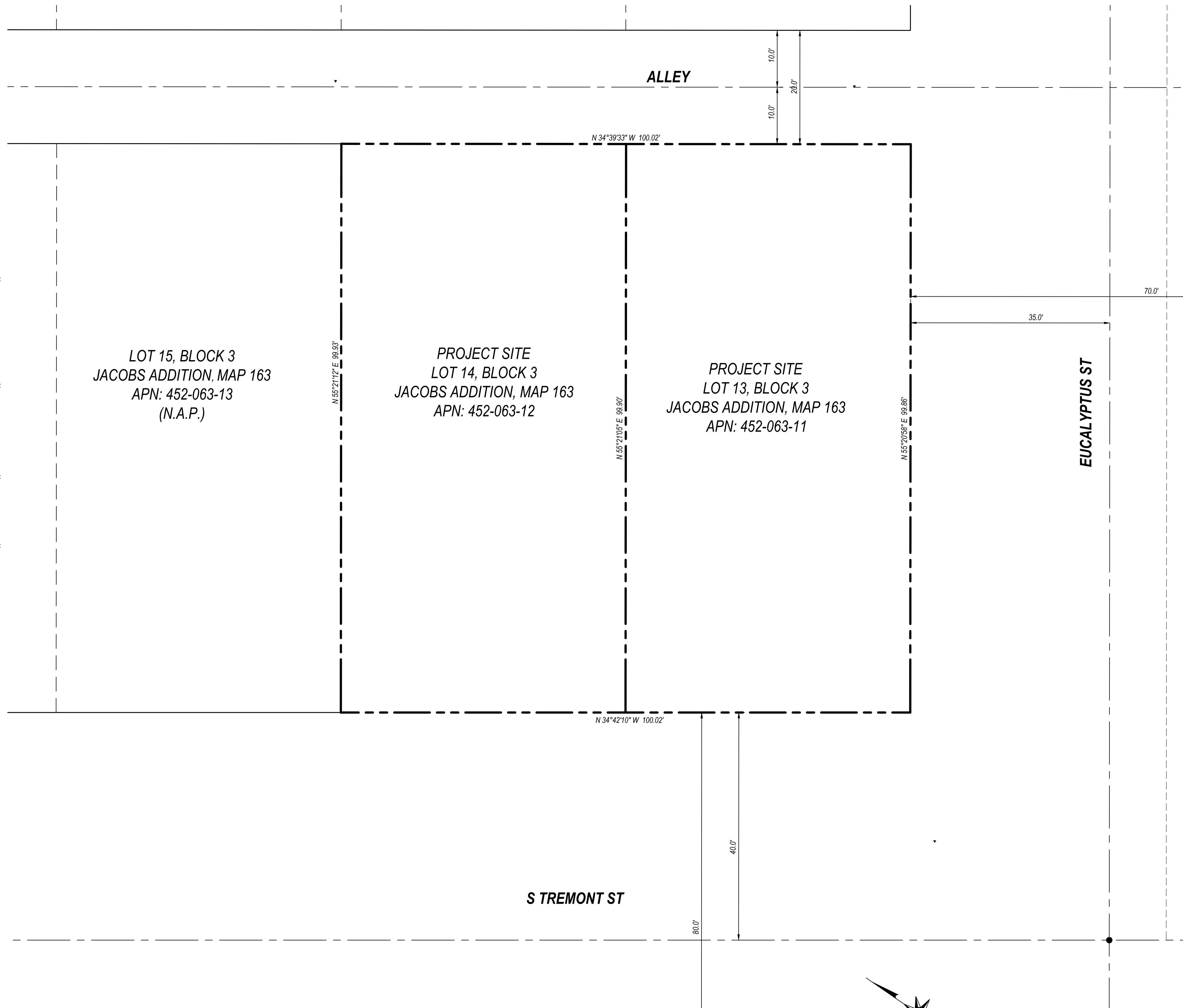
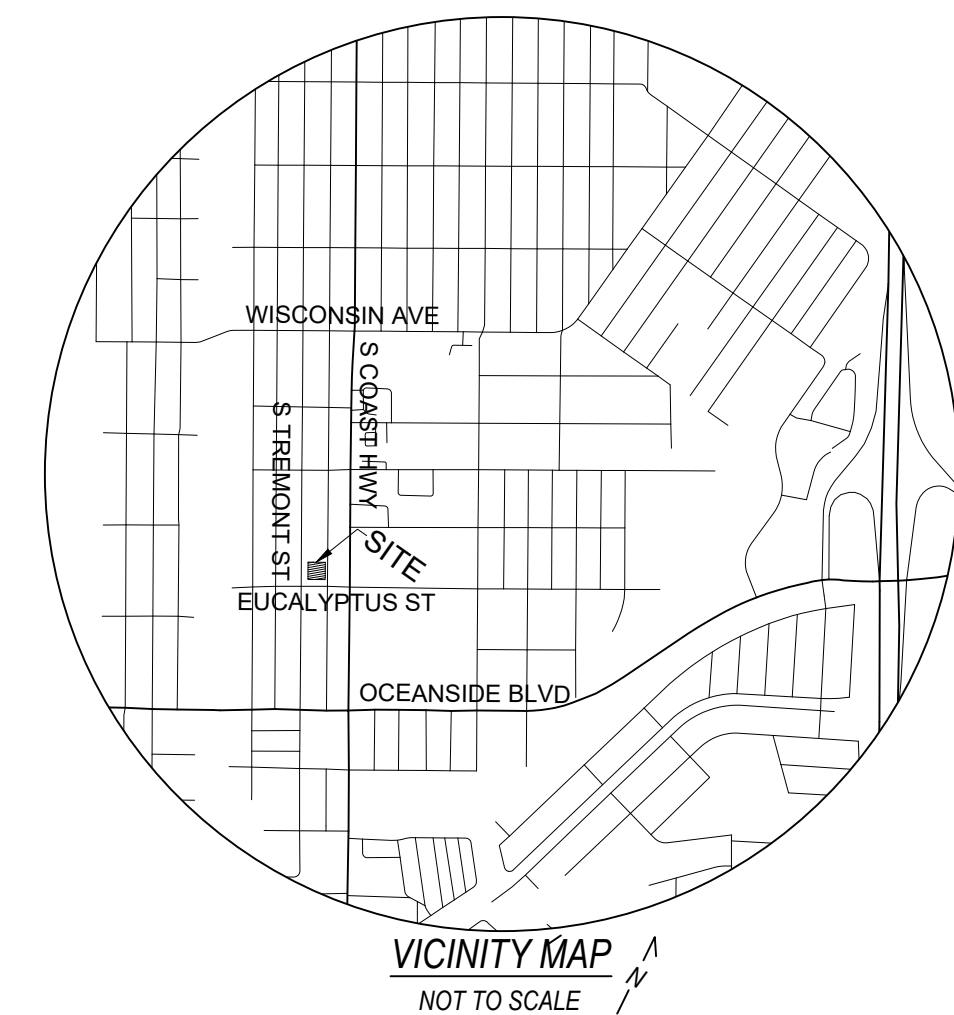
VEHICULAR ACCESS PROVIDED FROM PUBLIC ALLEY

RECORD REFERENCES

R1 - MAP 163

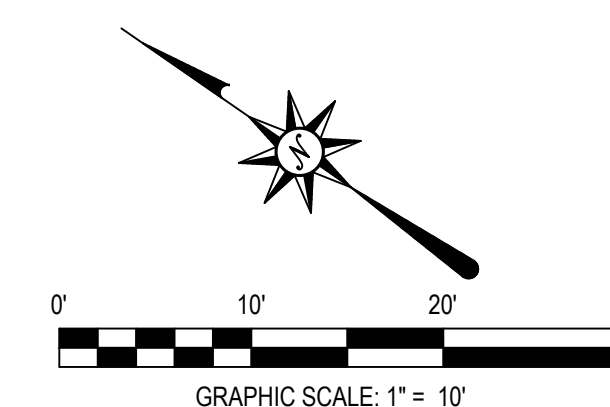
CIVIL SHEET INDEX

SHEET 1	01-TITLE
SHEET 2	PRELIMINARY GRADING PLAN



PLAN VIEW - LOT LAYOUT

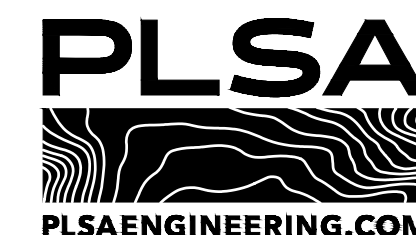
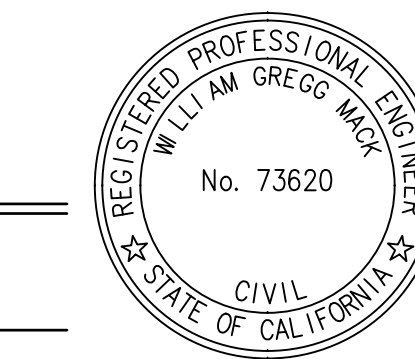
SCALE: 1" = 10' HORIZONTAL



ENGINEER OF WORK

PRELIMINARY
WILLIAM G. MACK

PE NO. 73620



OWNER INFORMATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED COASTAL DEVELOPMENT PERMIT AND THAT SAID PLAN SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATE BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

OWNER: **PRELIMINARY**

OCEANSIDE VENTURES LLC
 5330 CARROLL CANYON ROAD, SUITE 200
 SAN DIEGO CA 92121

LEGAL DESCRIPTION

LOTS 13 AND 14 IN BLOCK 3 OF JACOBS ADDITION, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 163, FILED IN THE OFFICE OF THE COUNTY RECORDER ON FEBRUARY 26, 1887.

SITE ADDRESS

1026-1032 S TREMONT AVE, OCEANSIDE CA 92054
 APN: 152-011-11,12

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCSR3) EPOCH 1991.35, ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN FIRST ORDER CONTROL STATIONS 1008 AND 1008 BEING A GRID BEARING OF N 33°21'13" W AS DERIVED FROM GEODETIC VALUES SHOWN ON RECORD OF SURVEY 21787, CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, FILED ON AUGUST 21, 2014, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON POINT 2131, A 3.5" BRASS DISC WITH CROSS STAMPED H131 1933 FOUND IN 8" CONCRETE MONUMENT IN THE NORTHWEST QUADRANT OF CASSIDY ST AND BROADWAY ST, AS SHOWN IN THE CITY OF OCEANSIDE RECORD OF SURVEY MAP NO. 21787, ELEVATION: 40.80' (NGVD 88)

EARTHWORK / PROJECT GRADING TABULATIONS

CUT QUANTITY:	XX CY	MAX CUT HEIGHT:	0.X FT
FILL QUANTITY:	XX CY	MAX FILL HEIGHT:	0.X FT
(IMPORT)EXPORT:	XX CY	OVER-EXCAVATION:	
		AND RE-COMPACTION:	0.0 CY

REMEDIAL: 0 CY

ESTIMATE DOES NOT INCLUDE STRIPPING OR UTILITY TRENCH VOLUMES, IF REQUIRED BY SITE CONDITIONS. CONTRACTOR SHALL SATISFY SELF THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK. EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. (CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS). DEPTH & QUANTITY OF REMEDIAL GRADING IS SUBJECT TO FIELD VERIFICATION BY PROJECT SOILS ENGINEER IN FIELD DURING EXCAVATION.

SURVEY NOTE

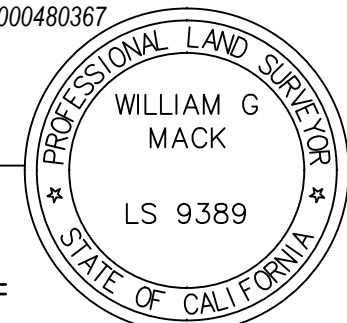
TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED ON APRIL 24, 2025, BY:

PASCO, LARET, SUITER & ASSOCIATES
 1911 SAN DIEGO AVENUE, SUITE 100
 SAN DIEGO, CA 92110
 PH: (619) 259-8212

SURVEYOR STATEMENT

THE BOUNDARY SHOWN HEREON ACCURATELY REPRESENTS A BOUNDARY SURVEY PERFORMED BY ME OR UNDER MY DIRECTION ON 04/24/2025. EASEMENTS OF RECORD SHOWN HEREON REPRESENT PLOTTING OF SAID DOCUMENTS TITLE COMMITMENT PROVIDED BY STEWART TITLE COMPANY WITH ORDER NO 25000480367 DATED APRIL 22, 2025.

PRELIMINARY
 WILLIAM G. MACK P.L.S. NO. 9389



DISTURBED AREA CALCULATIONS

TOTAL PROPERTY AREA: 9,991 SF (0.229 AC)
 TOTAL DISTURBED AREA: 9,991 SF (0.229 AC)

IMPERVIOUS AREA CALCULATIONS

TOTAL PROPERTY AREA:	9991 SF
EXISTING IMPERVIOUS AREA:	x,xxx SF
PROPOSED IMPERVIOUS AREA: (TOTAL)	x,xxx SF
NEW:	x,xxx SF
REPLACED:	x,xxx SF
PROPOSED PERVIOUS AREA:	xxx SF

CONSTRUCTION NOTES

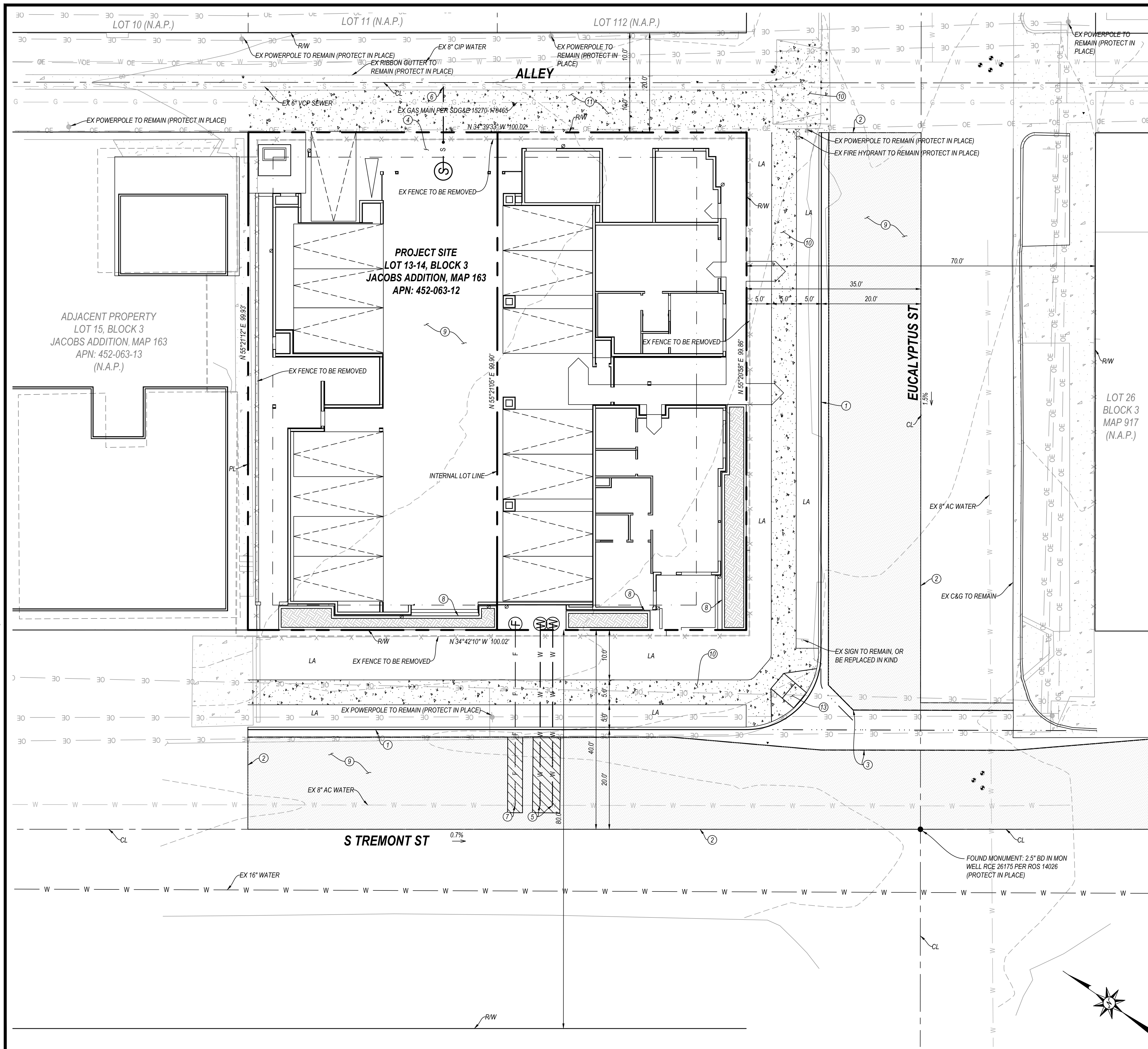
- ① INSTALL 6" CURB AND GUTTER
- ② LIMITS OF ROADWAY REPLACEMENT (SAWCUT AND MATCH EXISTING)
- ③ INSTALL CROSS GUTTER PER CITY OF OCEANSIDE STD DWG
- ④ INSTALL PCC DRIVEWAY
- ⑤ INSTALL 4" WATER SERVICE
- ⑥ INSTALL 4" SEWER LATERAL
- ⑦ INSTALL 4" FIRE SERVICE
- ⑧ INSTALL LANDSCAPE PLANTER
- ⑨ INSTALL PCC DRIVE AISLE
- ⑩ REMOVE AND REPLACE ALLEY APRON
- ⑪ REMOVE AND REPLACE EXISTING ALLEY
- ⑫ INSTALL PCC SIDEWALK
- ⑬ INSTALL PEDESTRIAN CURB RAMP

LEGEND

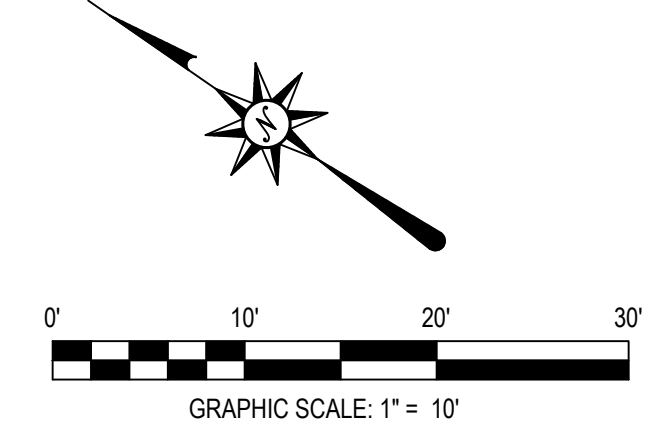
PROPERTY BOUNDARY	---
CENTERLINE OF ROAD	---
ADJACENT PROPERTY LINE	---
PUBLIC RIGHT-OF-WAY	---
SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED DIRECTION OF FLOW	→
PROPOSED PCC CURB & GUTTER	SDRSD G-2
PROPOSED PCC DRIVEWAY (WIDTH PER PLAN)	---
PROPOSED STEM WALL	---
PROPOSED ARCH WALL	---
PROPOSED PCC PAVEMENT	---
PROPOSED 2" AC GRIND AND OVERLAY	---
PROPOSED TRENCH & AC RESTORATION	---
PROPOSED SAWCUT OF AC PAVEMENT	---
PROPOSED 1" DOMESTIC WATER SERVICE, METER AND BACKFLOW	OSD W-4, W-12
PROPOSED 1" IRRIGATION WATER SERVICE, METER AND BACKFLOW	OSD W-4, W-12
PROPOSED 4" FIRE SERVICE WITH DDCVA & U.L. LISTED 2-WAY FDC	OSD W-14
PROPOSED 4" PVC SEWER LATERAL W/ 4" CLEANOUT AND 12" CAST IRON LID	OSD S-4 & SDRSD SC-01
PROPOSED PRIVACY FENCE	---
EXISTING FENCE	---
EXISTING WATER MAIN (SIZE PER PLAN)	---
EXISTING SEWER MAIN (SIZE PER PLAN)	---
EXISTING GAS MAIN (SIZE PER PLAN)	---
EXISTING OVERHEAD UTILITIES	---
EXISTING SURVEY MONUMENT	●

SITE NOTES

- EXISTING SURVEY MONUMENTS THAT ARE DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY.
- ALL UTILITIES SHOWN HEREON ARE PER BEST AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL POTHOLE TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT WORK SITE. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD UPON DISCOVERY OF ANY DISCREPANCIES.
- ALL STREET SIGNS, LIGHTS, LAMPS, UTILITIES, ETC. LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED IN-PLACE DURING CONSTRUCTION OR REPLACED TO THE SATISFACTION OF THE CITY OF OCEANSIDE.
- EXISTING WATER SERVICE AND METER SERVING SUBJECT PROPERTY TO BE ABANDONED PER THE CITY OF OCEANSIDE STANDARDS AND STANDARD DRAWING (OSD) W-06



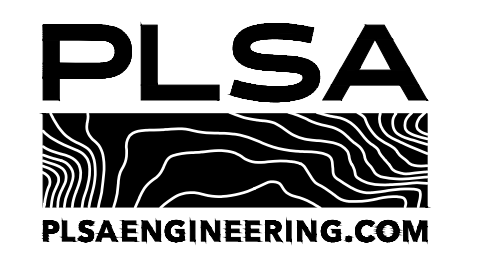
PRELIMINARY GRADING PLAN
SCALE: 1" = 10'



ENGINEER OF WORK

PRELIMINARY
WILLIAM G. MACK

PE NO. 73620



SAVE DATE: 2025-11-18 - PLOT DATE: 2025-11-18 1:20 PM - FILE NAME: JACTIVE JOB54323 1026 S. TREMONT ST CIVIL DRAWING DISCRETIONARY PLANS-4323-CV-CDP-02.dwg

**OCEANSIDE
VENTURES, LLC**

1026-1032 S Tremont St
Oceanside, CA 92054

**S TREMONT ST
MIXED USE**

APN: 152-011-11-00
APN: 152-011-12-00

GENERAL NOTES - ELEVATIONS

- DIMENSIONS: TO TOP OF PLATE, TOP OF CONCRETE, OR TOP OF CEMENTITIOUS UNDERLAYMENT, UNO.
- DIMENSIONS GOVERN; DO NOT SCALE DRAWINGS.
- DO NOT ADJUST CLEAR DIMENSIONS UNLESS APPROVED BY ARCHITECT.
- FINISH FLOOR ELEVATIONS: SEE CIVIL AND STRUCTURAL.
- SEE CIVIL FOR ADJACENT HARDSCAPE ELEVATIONS AND WHERE EXTERIOR STAIRS LAND ON EXTERIOR HARDSCAPE; VERIFY ELEVATIONS WITH CIVIL.
- EXTERIOR LIGHT FIXTURES: SEE ELECTRICAL.
- CEMENT PLASTER CONTROL JOINTS, COMPLY WITH SPECIFICATIONS.
 - PROVIDE JOINTS IN PANELS AS SHOWN OR AS INDICATED BELOW.
 - JOINTS TO BE CONTINUOUS ALONG SURFACES AND AROUND CORNERS.
 - MAXIMUM PANEL DIMENSION: 16 FT IN EITHER DIRECTION
 - MAXIMUM VERTICAL AREA: 144 SF
 - MAXIMUM AREA FOR HORIZONTAL, CURVED, OR ANGULAR PANELS: 100 SF
 - MAXIMUM PANEL LENGTH TO WIDTH RATIO: 2 TO 1
- ABBREVIATIONS AND SYMBOLS: THIS SHEET AND G-SERIES SHEETS

LEGEND - ELEVATIONS

- 6'-0" DIMENSION - DENOTING FACE OF STRUCTURE/FRAMING U.N.O.
- 6'-0" DIMENSION - DENOTING CENTERLINE
- 6'-0" DIMENSION - DENOTING FACE OF FINISH/CLEAR
- # GRID LINE REFERENCE - FACE OF STUD
- STUCCO - COLOR: WHITE, FINISH: SMOOTH
- STUCCO - COLOR: GRAY, FINISH: SMOOTH
- EXHAUST AIR LOUVER
- INTAKE AIR LOUVER
- BUILDING SECTION REFERENCE DWG. NO. SHEET NO.
- WALL SECTION REFERENCE DWG. NO. SHEET NO.

LEGEND - MATERIALS

- TILE ACCENT MATERIAL
- WOOD TIMBER RAFTERS
- WHITE STUCCO
- GREEN STUCCO ACCENT
- MURAL WALL
- VINYL WHITE WINDOW MULLIONS
- ASPHALT SHINGLE
- STEEL GUARDRAILS
- TONGUE AND GROOVE
- ALUMINUM HORIZONTAL LOUVER CLAD IN WOOD VENEER

NO.	ISSUANCE/REVISION	DATE:
1	DEV. CONFERENCE	07/30/25

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. © ARCHITECTS LOCAL 2025

DATE: AL PROJECT NUMBER:

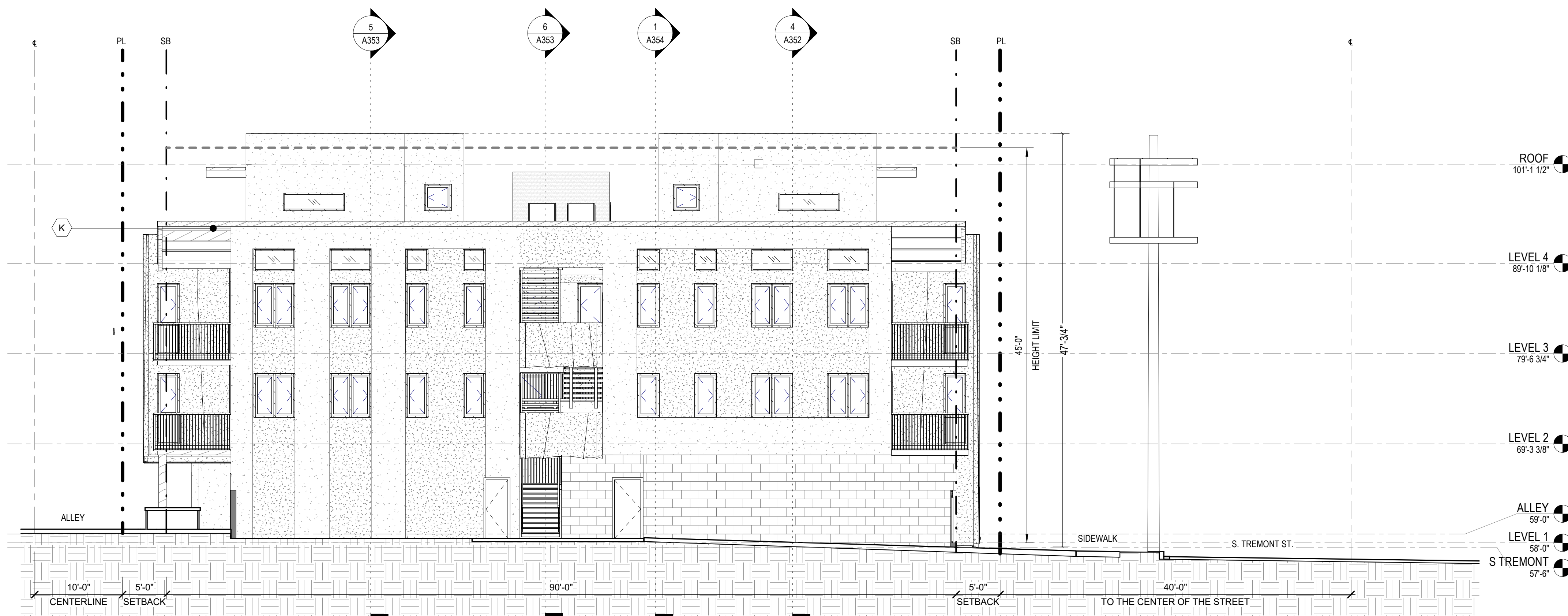
25-07-30 1-240314

SCALE: AHJ PROJECT NUMBER:

As indicated

**BUILDING
ELEVATION -
NORTH & SOUTH**

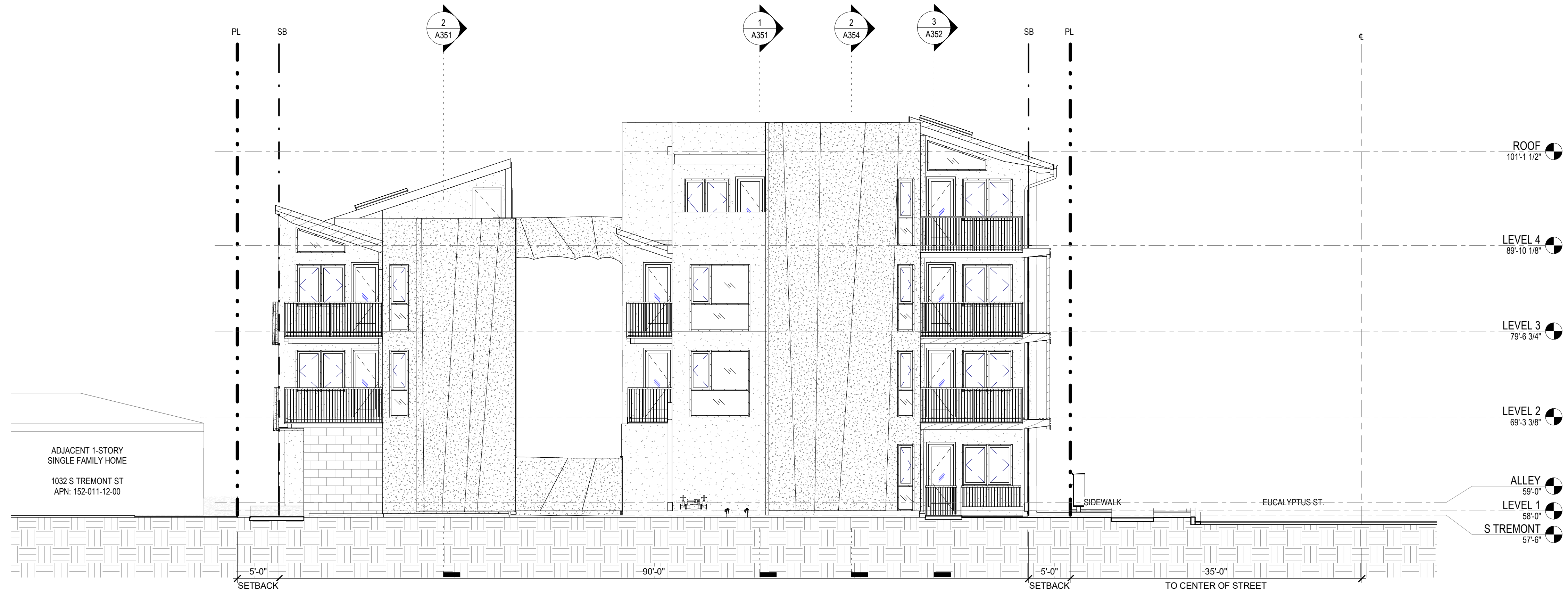
A301



2 BUILDING ELEVATIONS NORTH
1/8" = 1'-0"



1 BUILDING ELEVATIONS SOUTH
1/8" = 1'-0"



1 BUILDING ELEVATIONS WEST
1/8" = 1'-0"



2 BUILDING ELEVATIONS EAST
1/8" = 1'-0"

GENERAL NOTES - ELEVATIONS

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- ASPHALT SHINGLE
- STEEL GUARDRAILS
- TONGUE AND GROOVE
- ALUMINUM HORIZONTAL LOUVER CLAD IN WOOD VENEER

OCEANSIDE VENTURES, LLC

1026-1032 S Tremont St
Oceanside, CA 92054

S TREMONT ST MIXED USE

APN: 152-011-11-00
APN: 152-011-12-00

NO.	ISSUANCE/REVISION	DATE
1	DEV. CONFERENCE	07/30/25

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. © ARCHITECTS LOCAL 2025
DATE: AL PROJECT NUMBER:
25-07-30 1-240314
SCALE: AHJ PROJECT NUMBER:
As indicated

BUILDING ELEVATION - EAST AND WEST

A302

DEVELOPERS CONFERENCE & ZONING CODE REVIEW

**1026-1032 S Tremont
Oceanside, CA 92054
APN: 152-011-11-00**

May 29, 2025

Prepared For:

Development Services Department, Planning Division
300 N. Coast Hwy,
Oceanside, CA 92054

Prepared By:

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- 4 Satellite Map
- 5 Zoning Map

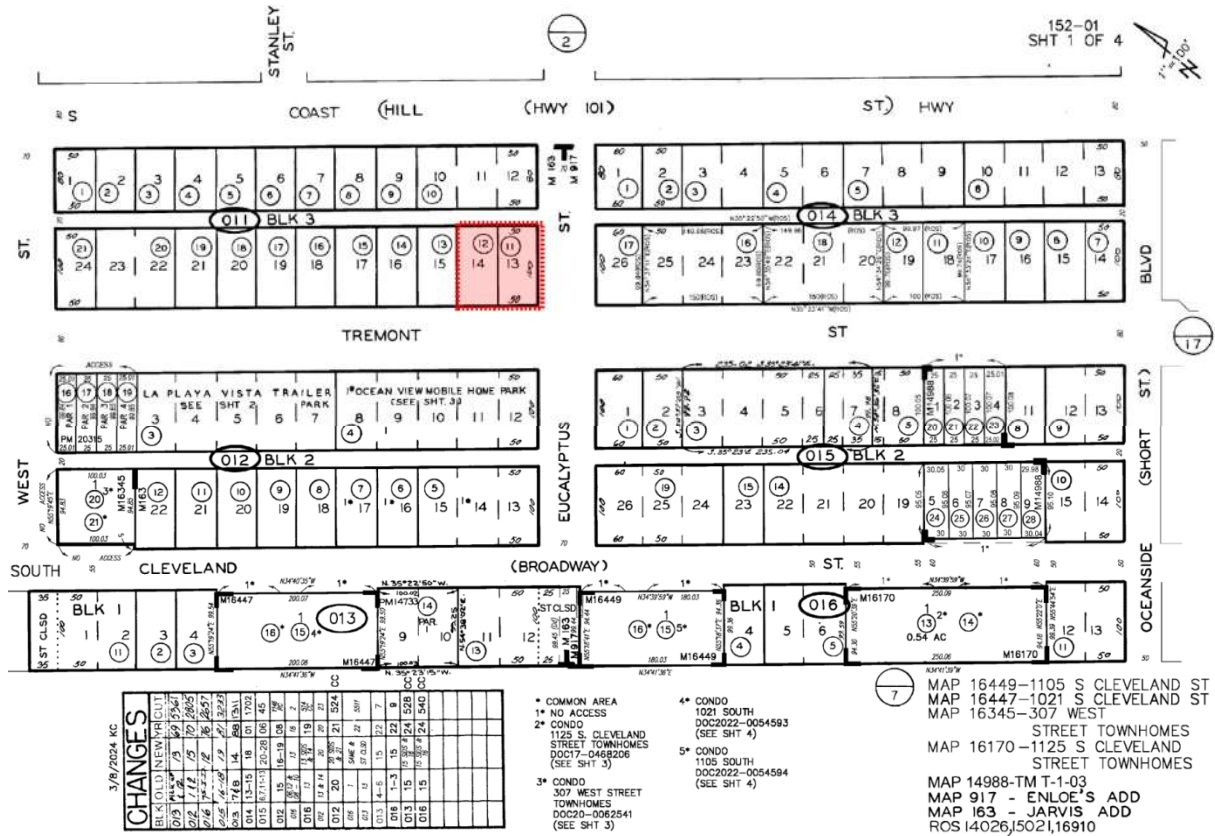
Developers Conference Questions

- 6 Project Information, Waivers & Density
- 7 Parking, Height & Lot Coverage
- 8 Setbacks & Fire Department
- 9 Urban Forestry, Bike & Refuse
- 10 Miscellaneous

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- 12 CBC Area Calculations
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- 16 Floor Plan - Level 2
- 17 Floor Plan - Level 3
- 18 Floor Plan - Level 4
- 19 Roof Plan
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- 21 Building Elevation - East & West
- 22 Building Elevation - Interior
- 23 Building Sections
- 24 Building Sections
- 25 Building Sections
- 26 3D Views
- 27 3D Views
- 28 3D Views

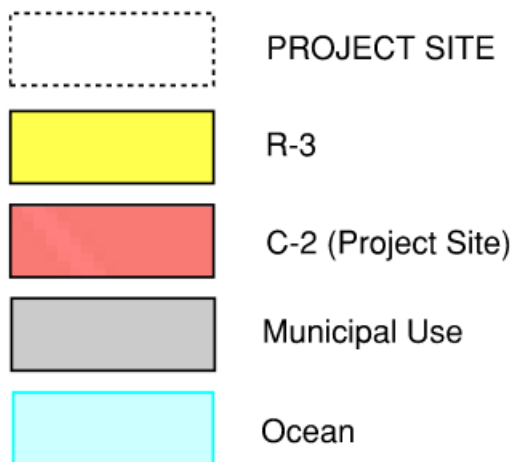
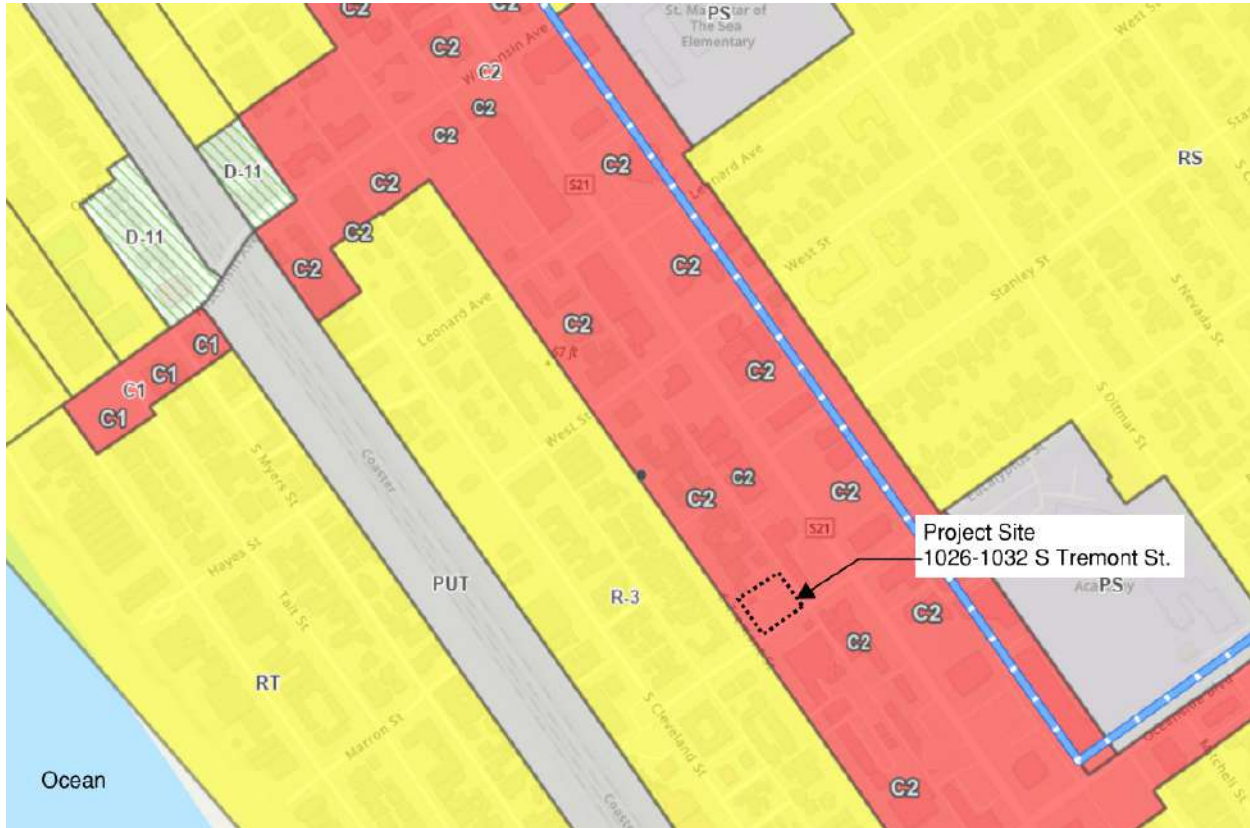
Assessor Parcel Map



Satellite Map



Zoning Map



DEVELOPERS CONFERENCE QUESTIONS AND CONFIRMATIONS

Project Information

Addresses	1026-1032 S Tremont Oceanside, CA 92054
APN	152-011-11-00 & 152-011-12-00
Overlays	Coastal Overlay Zone
Zone	C2/CZ
Project Scope	New 4-Level Mixed Use Construction (26,032 SF) 15 residential units including 2 affordable & 1 commercial unit

Incentives or Waivers

Question 1	How does the city of Oceanside determine eligibility for waivers and does it differ from the state code?
------------	---

Density

Question 2	Is the proposed density and affordable density bonus and incentive calculation acceptable for site development?
------------	--

Single Lot	1026 S Tremont ≈ 0.12 acres ≈ 5,000 SF 1032 S Tremont ≈ 0.12 acres ≈ 5,000 SF
Max Permitted Residential Density	(1) dwelling unit per 1,000 square feet of lot area
Base Residential Density	5000 sf / 1000 sf per DU = 5 base units 5000 sf / 1000 sf per DU = 5 base units 10 Base Units Total
Proposed Affordable Housing Density Bonus	<u>(50% Density Bonus):</u> _10 Base Units - 2 Very Low Income Affordable Unit 2/10 = 20% Affordable <ul style="list-style-type: none"> • ≥15% Very Low Income Affordable = 50% Density Bonus and 4 Development Incentives • 10 x 50% Bonus = 5 Bonus Units • 15 Units Total:13 Market Rate, 2 Very Low Income

Parking

Question 3	Please confirm whether the use of development incentives and waivers can be used to reduce commercial parking to 0
Question 4	If all parking spaces are assigned, will we require a turnaround stall?
Question 5	Confirm if proposed parking is acceptable to planning
Parking Requirements	Mixed Use Required Parking (1) 1 Space required per dwelling unit (2) Twenty-five percent (25%) of the parking spaces required by the office or commercial use may be included within the parking spaces provided by the residential units. (3) New multi-family residential and nonresidential developments that include five or more parking spaces shall reserve 15 percent of parking spaces for zero-emission vehicles and equip 50 percent of these reserved spaces with Level 2 electric vehicle charging facilities
Proposed Parking	16 Residential Parking Spaces including 1 Accessible Stall 1 stall per unit No commercial parking

Height

Question 6	Please confirm whether the use of development incentives and waivers can be used to increase the overall structure height to 48 feet?
Question 7	Can planning confirm how the overall height is measured?
Max Structure Height	Base Zone: 45'4 Stories* Residential Use: 35'3 Stories*
Proposed Structure Height	48'

Lot Coverage

Question 8	Please confirm whether the use of development incentives and waivers can be used to increase the maximum lot coverage
Maximum Lot Coverage*	60%
Max FAR	Unlimited
Max Gross Floor Area	Unlimited
Proposed Lot Coverage:	75.37%

Setbacks

Question 9

Please confirm whether the use of development incentives and waivers can be used for the proposed setback reductions

Can we confirm that Tremont St is the "front" setback and not Eucalyptus?

Residential Setbacks R-3*

(E) Front	20' (w/ 5' min. Landscape area)
(E) Side	5' (10% lot width, max 5')
(E) Corner (street side)	10'
(E) Rear	15'

Commercial Setbacks 11C*

(E) Front	15'
(E) Side	0
(E) Corner (street side)	10'
(E) Rear	5'

Proposed Residential Setbacks R-3*

(P) Front	3'
(P) Side	4'
(P) Corner (street side)	4'
(P) Rear	4'

Proposed Commercial Setbacks 11C*

(P) Front	10'
(P) Side	0'
(P) Corner (street side)	4'
(P) Rear	2.5'

Fire Department Connection

Question 10

Please Confirm Fire Department Connection Location is Acceptable

Question 11

Please Confirm Backflow Location is Acceptable

Urban Forestry

Question 12

Please confirm whether the use of development incentives and waivers can be used to reduce the tree canopy area.

Question 13

Can the tree canopy area be achieved from trees in the public right of way as a part of planned public improvements?

Question 14

Please confirm whether the use of development incentives and waivers can be used to reduce the permeable surface area?

Urban forestry Program

All new development shall comply with table below:

Minimum Tree Canopy and Permeable Surface Area Requirements

Project Site Area	Minimum Tree Canopy Area	Minimum Permeable Surface Area
1 acre or more	12%	22%
1/3 acre to 1 acre	9%	16%
Less than 1/3 acre	7%	10%

Existing Permeable Area 0%
Proposed Permeable Area 6%

Bike and Motorcycle Requirements

Question 15

Please confirm bicycle and motorcycle if proposed bike and motorcycle parking is sufficient.

(P) Motorcycle 2 Spaces
(P) Bike 5 Spaces

Refuse

Question 16

Please confirm if the proposed refuse size is acceptable for this development

(P) Refuse 182 SF

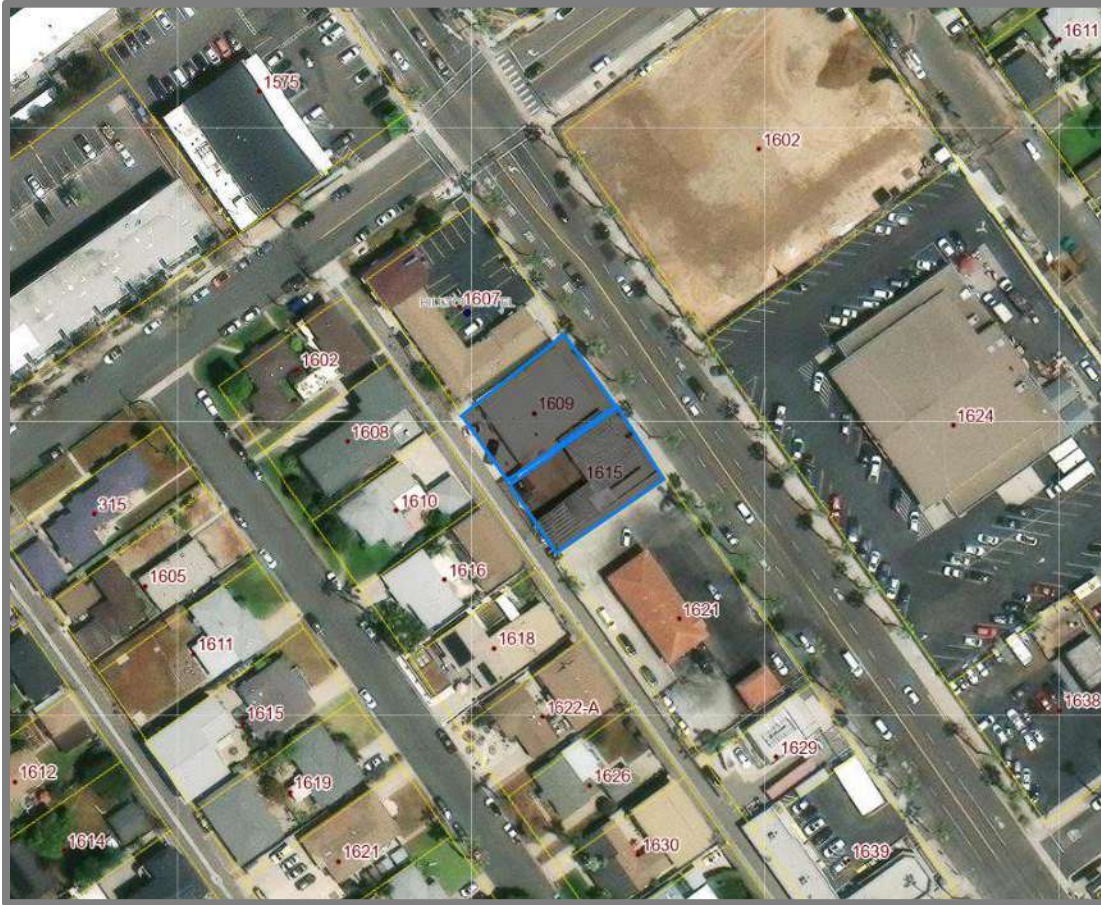
Miscellaneous

Utility Screening	Do we need to screen HVAC, Solar, or Transformers?
Visibility Triangles	<p>Is there a visibility triangle requirement at the alley driveway?</p> <p>Can we reduce the visibility triangles at the intersection of Eucalyptus and Tremont</p>
Noise Study	Does this project require a noise study due to proximity to rail?
Utility Undergrounding	Will you require the undergrounding of any adjacent utilities lines
Accessible Pathway	Are we able to use the public right of way for the required accessible path of travel?
Strategic Plan	Is the project compliant with the area's strategic plan?
Lot Coverage	Is impervious paving included in lot coverage calculations?

Civil Questions

- ADA Path Requirements specific to the City of Oceanside
 - Is it acceptable to have ADA path of travel between 2 points on site be placed within the City's public sidewalk if it is reinstalled to ADA standards? IE - can the path from a commercial space to a trash room cross into the public ROW on the sidewalk?
- Utilities:
 - Fire:
 - The RPDA with FDC will be placed near the corner along S Tremont St and there is an existing hydrant on Eucalyptus about 115' away. Is this acceptable?
 - The existing hydrant is currently right on the alley PL directly adjacent to an existing power pole. Can this configuration remain?
 - If not, can just the pole be relocated? Or will the hydrant need to be relocated due to its proximity to the alley?
 - Water
 - Will irrigation require its own tap into the main and meter or can it tee off of the project's domestic service behind the backflow?
 - There is an existing reclaimed water main in S Tremont St. Will irrigation be required to tie into this?
 - Does tying irrigation into reclaimed water present any incentives to the project?
 - Sewer
 - There is an existing 6" sewer main in the alley (the top of the system is at the north end of the block). Will the city accept a proposed connection for this project to this main? Will a sewer study be required to accommodate this connection?
 - Should main replacement be required, what will the required limits of replacement be and can you confirm that this would be subject to a reimbursement agreement for any replacement outside of the limits of our project frontage
- Parkway requirements
 - There are 15' and 20' parkways on Eucalyptus and S Tremont St respectively. Please confirm that the City would like non contiguous sidewalk installed on both with a 6" curb, 5' wide landscape strip, street trees, and then the remainder of each parkway being landscaping.
 - Will enhanced requirements or allowances according to Sprinter Station Node portion of Coast Highway Vision & Strategic Plan be applicable to this project? If so, can these be clarified and defined to ensure they are provided correctly?
 - If not, can you confirm that the parkway configuration outlined above are acceptable?
 - Will dual curb ramps be required at the corner of the site on Eucalyptus and Tremont?
 - Note that there is no continued sidewalk along S Tremont St to the north of the site. Please confirm that no sidewalk extension outside the limits of this project's frontage (on both S Tremont St and Eucalyptus St) will be required.

ITEM 2





Developer's Conference (Pre-Application) Request Form

Development Services Department, Planning Division
300 N. Coast Hwy, Oceanside, CA 92054, (760) 435-4373

General Information

Project/Property Address: 1609-1615 South Coast Highway

Assessor's Parcel Number: 153-111-12-00; 153-111-13-00 Lot Area (acres or SF): 12,000 sf

Existing Use: One Story Commercial Retail

Brief Description of Proposal:
Proposed 4-story affordable mixed use residential building

Property Owner & Applicant Information

Owner Name: SAF Ventures (Contact:Aaron Ruby)

Phone Number & E-Mail Address: 6193073388 aruby@srmurban.com

Applicant Name: Aaron Borja

Phone Number & E-Mail Address: 6193334863 aaronb@architectslocal.com

To be completed if the Applicant is not the Property Owner:

I authorize the applicant indicated above to submit the application on my behalf: Aaron Ruby
Signature of Property Owner
(or attach a Letter of Authorization)

Requested Meeting Date/Time (please provide 2 options)

1st choice date: June 11 Time preference: 9:30 am 10:30 am either

2nd choice date: June 25th Time preference: 9:30 am 10:30 am either

Requested Divisions to Attend (Planning attends all meetings)

Building Fire Water Engineering Transportation Solid Waste Other Landscape

Email the following PDF documents to PlanningStaff@oceansideca.org:

- Project description letter
- Regional and vicinity maps (e.g. Google Maps aerial)
- Conceptual site plans and elevations

To be completed by City staff:

Assigned meeting date: July 30, 2025 Time: 10:30 a.m.

Assigned Project Planner: Dane Thompson















DEVELOPERS
DESIGNERS
ARCHITECTS
BUILDERS
INVESTORS

LOCAL





DEVELOPERS
DESIGNERS
ARCHIT
BUILDERS
INVESTORS

LOCAL







S. COAST HIGHWAY MIXED-USE

20-UNIT, MULTI-FAMILY W/ AFFORDABLE HOUSING & COMMERCIAL

GOVERNING CODES

2022 California Residential Code, Title 24, part 2.5
2022 California Green Building Standards Code, Title 24, part 11
2022 California Building Code, Title 24, part 2, Volumes I and II
2022 California Mechanical Code, Title 24, part 4
2022 California Plumbing Code, Title 24, part 5
2022 California Fire Code, Title 24, part 9
2022 California Electrical Code, Title 24, part 3
2022 California Building Energy Efficiency Standards, Title 24, part 6

PROJECT TEAM

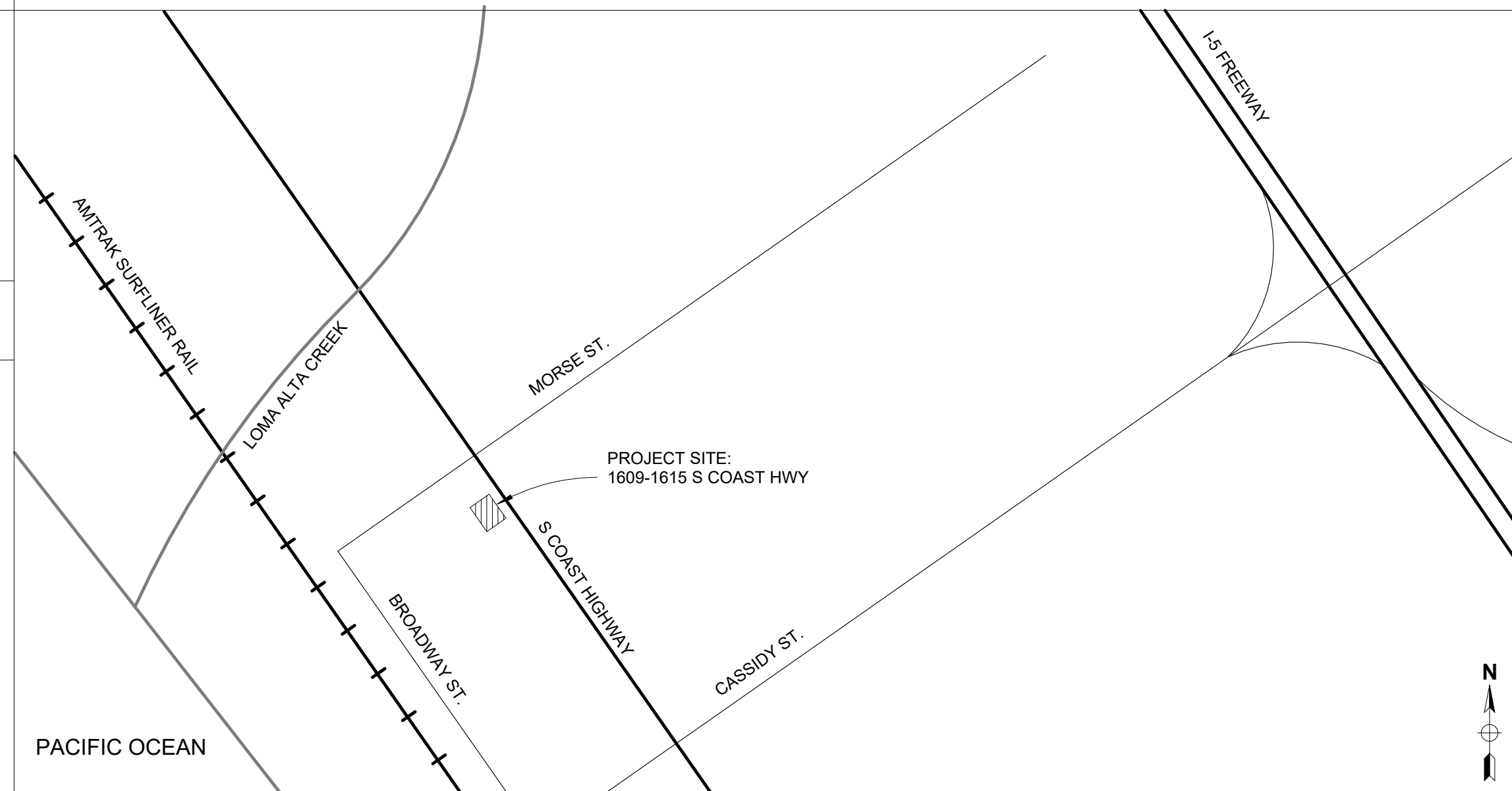
OWNER:
SF VENTURES LLC
AARON RUBY
5694 MISSION CENTER RD, STE 602-120
SAN DIEGO, CA 92108
(619) 501-3100
ARUBY@SRMURBAN.COM

ARCHITECT:
ARCHITECTS LOCAL
AARON A BORJA
740 13TH ST., SUITE 504
SAN DIEGO, CA 92101
(619) 535-0537 EXT. 104
AARONB@ARCHITECTSLOCAL.COM

LANDSCAPE ARCHITECT:
CALIFORNIA LANDSCAPE TECHNOLOGIES
STEVEN SHERMAN
3685 VISTA CAMPANA N, STE 41
OCEANSIDE, CA 92057
(760) 809-3241
CLTLANDARCH@GMAIL.COM

CIVIL/SURVEY:
PLSA
ZACK SIKORA
119 ABERDEEN DR
CARDIFF, CA 92007
(619) 813-2943
ZSIKORA@PLSAENGINEERING.COM

VICINITY MAP 1" = 500'



CALIFORNIA BUILDING CODE AREA

COMMERCIAL	LEVEL ONE:	1,622 SF
RESIDENTIAL	LEVEL ONE:	674 SF
	LEVEL TWO:	7,062 SF
	LEVEL THREE:	7,044 SF
	LEVEL FOUR:	4,465 SF
MISC. (STAIRS, MECH, ETC)	LEVEL ONE:	886 SF
	LEVEL TWO:	518 SF
	LEVEL THREE:	518 SF
	LEVEL FOUR:	1,020 SF
COVERED PARKING:		4,725 SF
PRIVATE DECK:		1,996 SF

CALIFORNIA BUILDING CODE AREA: 28,534 SF

RESIDENTIAL SCHOOL FEE AREA: 19,245 SF

COMMERCIAL SCHOOL FEE AREA: 1,622 SF

AFFORDABLE HOUSING DENSITY BONUS

- 12 BASE UNITS – 2 VERY LOW INCOME AFFORDABLE UNITS
- 2/12 = 16.6% AFFORDABLE
 - ≥15% VERY LOW INCOME AFFORDABLE = 50% DENSITY BONUS
 - ≥15% VERY LOW INCOME AFFORDABLE = 3 DEVELOPMENT INCENTIVES
 - 12 X 50% BONUS = 6 BONUS UNITS
 - **18 UNITS TOTAL**
 - 16 MARKET RATE,
 - 2 VERY LOW INCOME

UNIT SUMMARY

- (P) LEVEL 1: (1) 1-BED UNIT; (2) COMMERCIAL UNITS; (19) PARKING STALLS
(P) LEVEL 2: (4) 1-BED UNITS; (3) 2-BED UNITS
(P) LEVEL 3: (7) 2-BED UNITS
(P) LEVEL 4: (3) 2-BED UNITS

RESIDENTIAL
AVERAGE GROSS UNIT SIZE: 1,069 SF
LARGEST GROSS UNIT SIZE: 1,061 SF
TOTAL GROSS UNIT AREA: 19,245 SF

COMMERCIAL
TOTAL GROSS UNIT AREA: 1,647 SF

PROJECT INFORMATION

ADDRESS: 1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

APN: 153-111-12-00
153-111-13-00

LEGAL DESCRIPTION
BLOCK: BLOCK 22
LOT: LOT C
MAP: 000622
SUBDIVISION: SOUTH OCEANSIDE REFILED 1890
ZONING: C-2/CZ
OVERLAY ZONE: COASTAL OVERLAY ZONE
DATE BUILT: 1968

(E) OCCUPANCY: B/S-2
(P) OCCUPANCY: R-2/B/S-2

(E) CONSTRUCTION TYPE: V-B
(P) CONSTRUCTION TYPE: V-A

(E) SPRINKLERED: NO
(P) SPRINKLERED: YES

(E) USE: COMMERCIAL
(P) USE: MIXED-USE RESIDENTIAL & COMMERCIAL

(E) STORIES: 1
(P) STORIES: 4

(E) GROSS BUILDING SF: 6,675 SF (TO BE DEMOLISHED)

OMC ZONING DATA

SETBACKS
(E) RESIDENTIAL (R2)
(E) FRONT: 20'
(E) SIDE: 5'
(E) REAR: 15'

(P) RESIDENTIAL (R2)
(P) FRONT: 6'
(P) SIDE: 5'
(P) REAR: 5'

(E) COMMERCIAL (C2)
(E) FRONT: 15'
(E) SIDE: 0'
(E) REAR: 5'

(P) COMMERCIAL (C2)
(P) FRONT: 6'
(P) SIDE: 5'
(P) REAR: 5'

HEIGHT:
MAX BUILDING HEIGHT: 45'
(E) BUILDING HEIGHT: 12 - 6"
(P) BUILDING HEIGHT: 47' - 6"

LOT COVERAGE:
LOT SIZE: 12,000 SF
MAX LOT COVERAGE: 60%
(E) LOT COVERAGE: 6,675/12,000 = 55%
(P) LOT COVERAGE: 8,200/12,000 = 68%

FLOOR AREA RATIO:
MAX FAR: UNLIMITED
(E) GROSS FAR: 6,675/12,000 = 0.56
(P) GROSS FAR: 27,899/12,000 = 2.33

INCENTIVES & WAIVERS REQUEST

- FRONT SETBACK REDUCTION**
- RESIDENTIAL 20' SETBACK REDUCED TO 3'
 - COMMERCIAL 15' SETBACK REDUCED TO 10'
- REAR SETBACK REDUCTION**
- RESIDENTIAL 15' SETBACK REDUCED TO 3'
- LOT COVERAGE INCREASE**
- LOT COVERAGE 60% INCREASED TO 68%
- HEIGHT INCREASE**
- OVERALL 45' HEIGHT INCREASED TO 48'
- COMMERCIAL PARKING**
- COMMERCIAL PARKING REQUIREMENTS REDUCED TO 0

SCOPE OF WORK

DEMOLITION OF 2-EXISTING SF COMMERCIAL UNITS (6,675 SF)

NEW 4 LEVEL MIXED USE CONSTRUCTION (27,899 SF)
18 RESIDENTIAL UNITS INCLUDING 2 AFFORDABLE UNITS & 2 COMMERCIAL UNITS

SHEET INDEX

01-GENERAL	
G001	TITLE SHEET
G200	FIRE ACCESS PLAN
G251	CBC AREA CALCULATIONS
G301	OPENNESS PERCENTAGE ANALYSIS
02-CIVIL	
C1	TENTATIVE PARCEL MAP/ DEVELOPMENT
C2	PRELIMINARY GRADING PLAN
03-LANDSCAPE	
L001	CONCEPTUAL LANDSCAPE TITLE SHEET
L100	CONCEPTUAL LANDSCAPE PLAN
04-ARCHITECTURAL	
A002	ACCESSIBILITY PLAN
A010	ARCHITECTURAL SITE PLAN
A051	DEMOLITION PLAN - LEVEL 1
A201	FLOOR PLAN - LEVEL 1
A202	FLOOR PLAN - LEVEL 2
A203	FLOOR PLAN - LEVEL 3
A204	FLOOR PLAN - LEVEL 4
A210	ROOF PLAN
A301	BUILDING ELEVATION - NORTH & SOUTH
A302	BUILDING ELEVATION - EAST AND WEST
A303	BUILDING ELEVATION - INTERIOR
A351	BUILDING SECTIONS - LONGITUDINAL
A352	BUILDING SECTIONS - LONGITUDINAL
A353	BUILDING SECTIONS - TRANSVERSE
A354	BUILDING SECTIONS - TRANSVERSE
A355	BUILDING SECTIONS - SITE
TOTAL SHEETS: 24	

SAF VENTURES, LLC

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

SOUTH COAST HIGHWAY MIXED-USE

APN: 153-111-12-00
APN: 153-111-13-00

NET UNIT AREA

Unit	Bed Count	Net Interior Area
------	-----------	-------------------

LEVEL 1

COMMERCIAL 1	COMMERCIAL 1	674 SF
COMMERCIAL 2	COMMERCIAL 2	791 SF
UNIT 101	1 BED	619 SF

LEVEL 2

UNIT 201	1 BED	815 SF
UNIT 202	1 BED	877 SF
UNIT 203	1 BED	878 SF
UNIT 204	1 BED	815 SF
UNIT 205	2 BED	1,022 SF
UNIT 206	2 BED	1,053 SF
UNIT 207	2 BED	1,059 SF

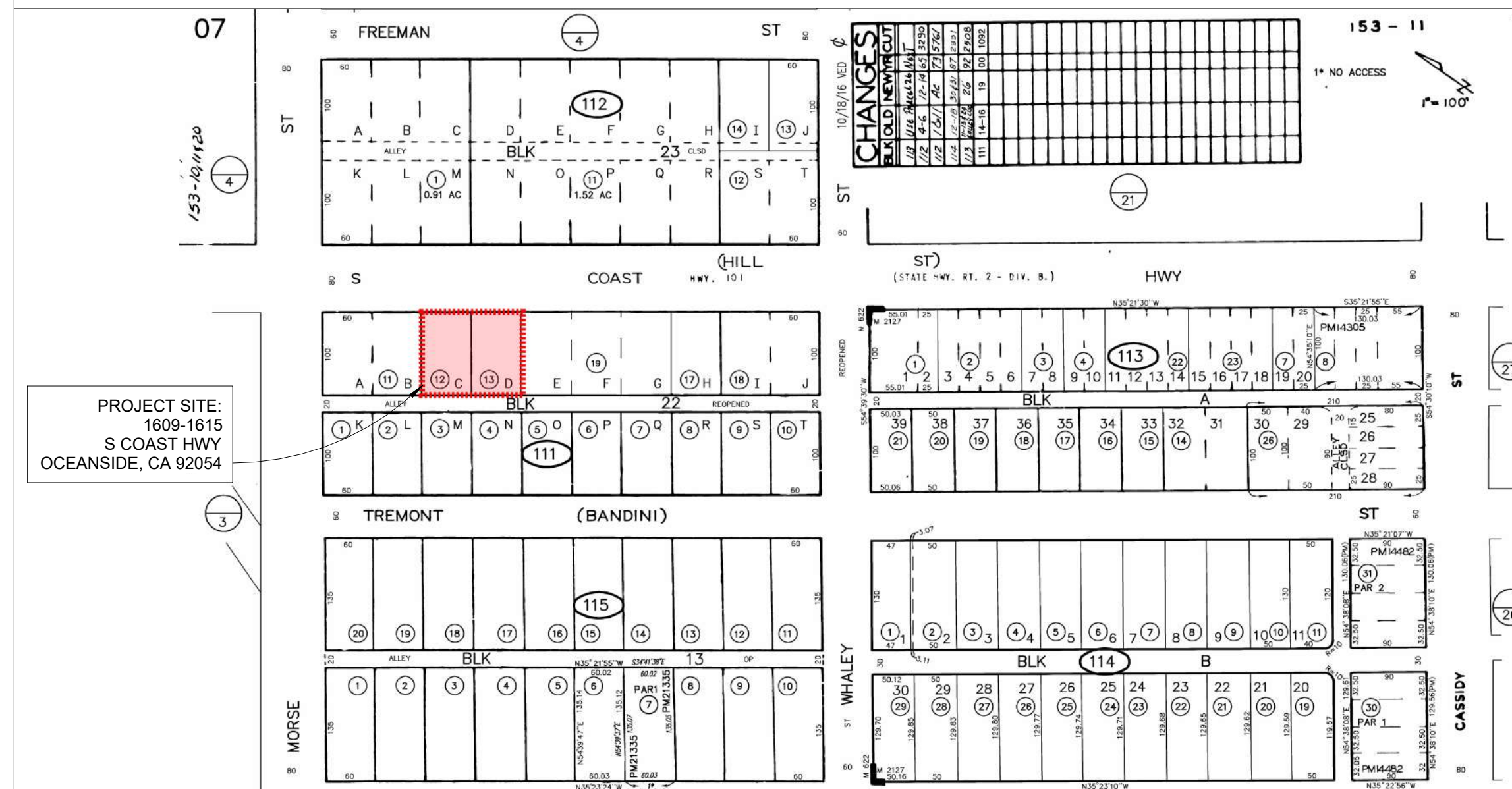
LEVEL 3

UNIT 301	2 BED	816 SF
UNIT 302	2 BED	878 SF
UNIT 303	2 BED	879 SF
UNIT 304	2 BED	816 SF
UNIT 305	2 BED	1,023 SF
UNIT 306	2 BED	1,054 SF
UNIT 307	2 BED	1,061 SF

LEVEL 4

UNIT 301	MEZZ	252 SF
UNIT 302	MEZZ	252 SF
UNIT 303	MEZZ	244 SF
UNIT 304	MEZZ	245 SF
UNIT 401	2 BED	1,020 SF
UNIT 402	2 BED	984 SF
UNIT 403	2 BED	1,048 SF
Units: 18		19,175 SF

PARCEL MAP



NO.	ISSUANCE/REVISION	DATE:
1	DEV. CONFERENCE	25/07/30

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DATE: AL PROJECT NUMBER:

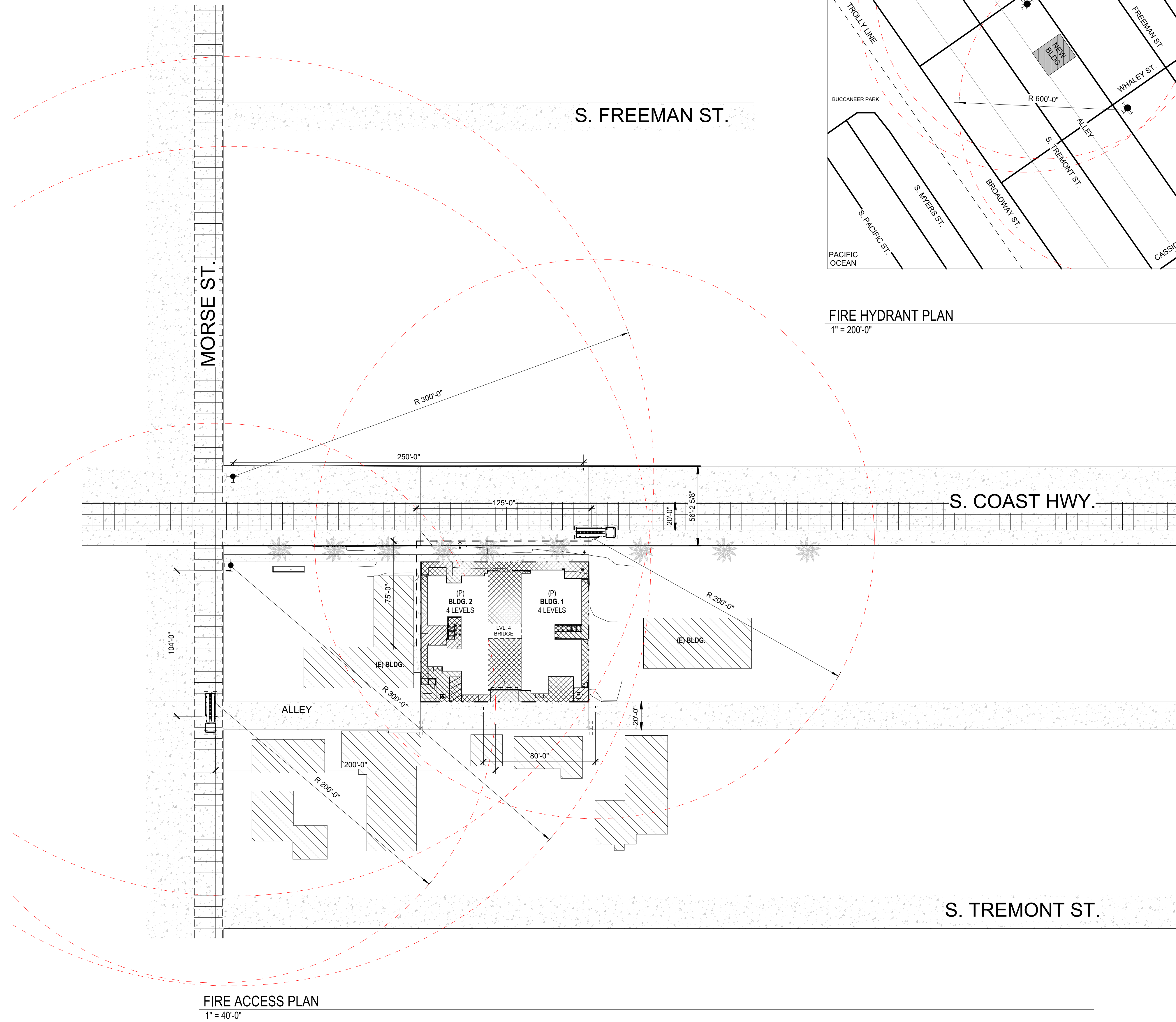
25-07-30 1-240313

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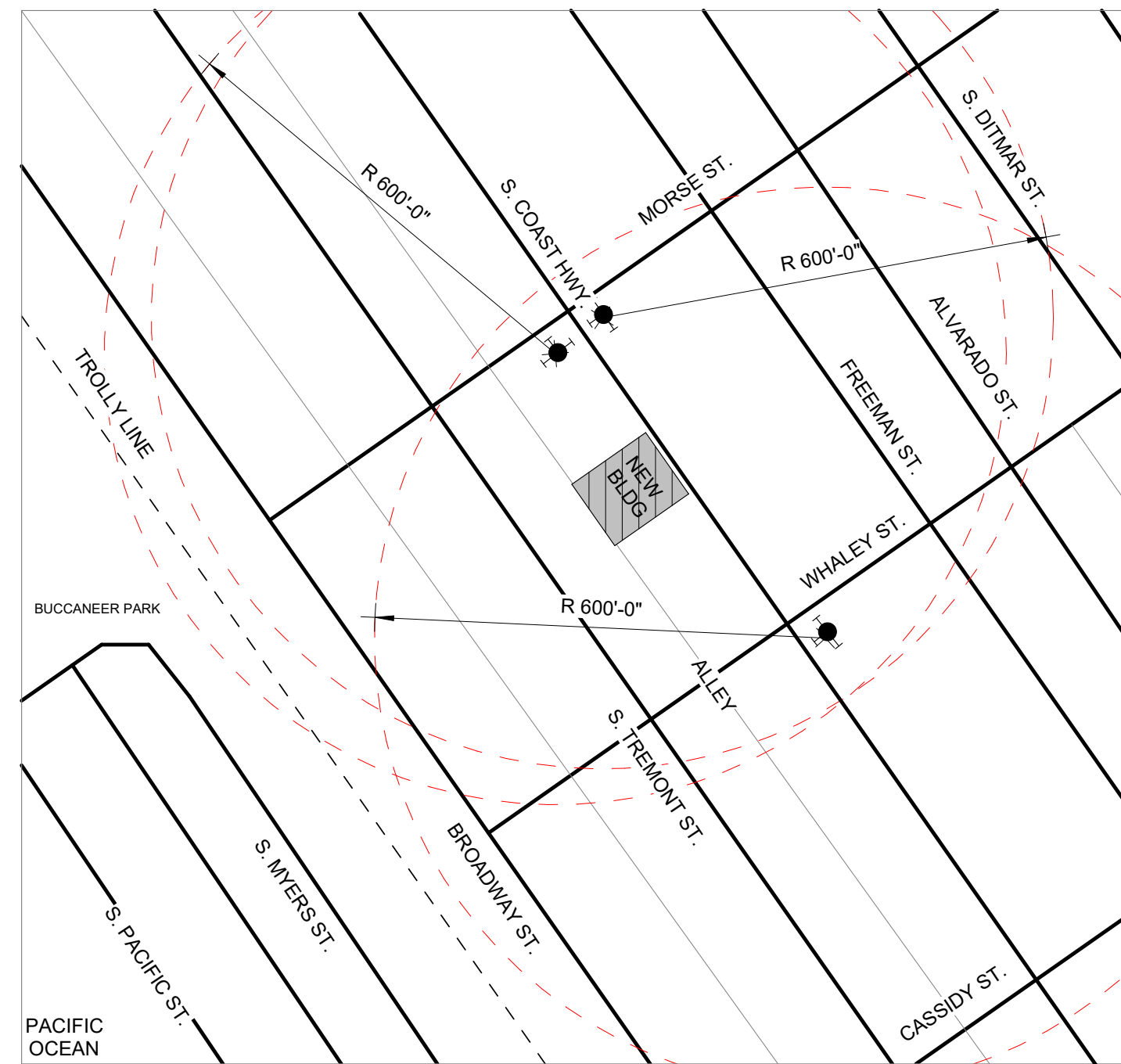
TITLE SHEET

G001



FIRE ACCESS PLAN
1" = 40'-0"

FIRE HYDRANT PLAN
1" = 200'-0"



GENERAL NOTES - FIRE

1. COMPLY WITH REQUIREMENTS OF CFC CHAPTER 14
2. PROVIDE ALL-WEATHER APPARATUS ACCESS ROADS & WATER SUPPLY PRIOR TO & DURING TIME OF CONSTRUCTION. (CFC 1410 & 1412)
3. AN APPROVED TEMPORARY OR PERMANENT WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. (CFC 1412)
4. AN ALL-WEATHER SURFACE SHALL BE PROVIDED & MAINTAINED THROUGHOUT THE JOB SITE FOR EMERGENCY SERVICE ACCESS.
5. PROVIDE A MINIMUM OF ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SF OR PORTION THEREOF ON EACH FLOOR. (CFC 906, CAL. CODE REGS., TITLE 19, 3.29)
6. SUBMIT DOCUMENTS FOR FIRE ALARMS & FIRE-EXTINGUISHING SYSTEM, TO AHJ FOR REVIEW & APPROVAL PRIOR TO INSTALLATION. (CFC 901.2)
7. PROVIDE FIRE-EXTINGUISHING SYSTEMS IN ACCORDANCE WITH CFC 903, 904 & NFPA 13.
8. PROVIDE ELECTRONICALLY MONITORED CONTROL VALVES FOR AUTOMATIC SPRINKLER SYSTEMS & WATER FLOW SWITCHES WHERE THE NUMBER OF SPRINKLERS IS 20 OR MORE. (CFC 903.4)
9. PROTECT CONCEALED SPACES ENCLOSED WHOLLY OR PARTIALLY BY EXPOSED COMBUSTIBLE CONSTRUCTION USING SPRINKLERS, DRAFT-STOPS OR INSULATION. (NFPA 13, SECTION 814.1)
10. PROVIDE ONE EXTERIOR APPROVED AUDIBLE DEVICE CONNECTED TO AUTOMATIC SPRINKLER SYSTEM IN AN APPROVED LOCATION. SPRINKLER WATER-FLOW ALARM DEVICES TO BE ACTIVATED BY SPRINKLER SYSTEM WATER FLOW. WHERE A BUILDING FIRE ALARM SYSTEM IS INSTALLED, ACTUATION OF THE SPRINKLER SYSTEM SHALL ACTUATE THE FIRE ALARM SYSTEM. (CFC 903.4.2)
11. MANUAL FIRE ALARM BOXES ARE NOT REQUIRED IN GROUP R-2 OCCUPANCIES WHEN THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM & THE NOTIFICATION APPLIANCES (ALARM/STROBE) WILL ACTIVATE UPON SPRINKLER FLOW. (CFC 907.2.9, EXCEPTION 2)
12. INSTALL & MAINTAIN SMOKE ALARMS IN GROUPS R-2, R-3, R-3.1, R-4 & I-1 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS; IN EACH ROOM USED FOR SLEEPING PURPOSES; IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS. (CFC 907.2.10.1.2)
13. MAINTAIN DECORATIVE MATERIALS IN A FLAME-RETARDANT CONDITION. (CALIFORNIA CODE REGULATIONS, TITLE 19, SEC. 3.08, CFC 804-808)
14. SUBMIT EMERGENCY PLANS TO FIRE & LIFE SAFETY FOR REVIEW & APPROVAL PRIOR TO OCCUPANCY. OBTAIN ALL REQUIRED PERMITS BEFORE THE BUILDING IS OCCUPIED.
15. COMPLY WITH CFC CHAPTER 33, "FIRE SAFETY DURING CONSTRUCTION & DEMOLITION".
16. PROVIDE FIRE ALARM SYSTEM CAPABLE OF SUPPORTING FUTURE VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH CFC 907.5.2.3.3.
17. THIS PROJECT IS TO BE PROTECTED THROUGHOUT WITH AN APPROVED FIRE ALARM SYSTEM IN ACCORDANCE WITH CFC 907.2.9 THAT INITIATES THE OCCUPANT NOTIFICATION SYSTEM.
18. PROVIDE FIRE EXTINGUISHERS WITH CLASSIFICATIONS & IN LOCATIONS PER CFC 906 & CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19.
19. DURING CONSTRUCTION, PROVIDE & MAINTAIN AT LEAST ONE EXTINGUISHER ON EACH FLOOR LEVEL, AT EACH STAIRWAY, IN STORAGE & CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED & WHERE OTHER SPECIAL HAZARDS ARE PRESENT IN COMPLIANCE WITH CFC SECTION 3315.1. PROVIDE FIRE EXTINGUISHERS AS INDICATED IN SPECIFICATIONS.
20. PROVIDE ST&PIPES DURING CONSTRUCTION WHEN HEIGHT REACHES 40 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS. LOCATE FIRE DEPARTMENT CONNECTION NO MORE THAN 100 FEET FROM AVAILABLE FIRE DEPARTMENT VEHICLE ACCESS ROADWAYS (CFC 3310, 3313). WELDING, CUTTING, & OTHER HOT WORK IN BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION TO CONFORM WITH CFC 33 & 35.
21. THIS PROJECT IS REQUIRED TO MEET THE REQUIREMENTS IN CFC SECTION 510 FOR EMERGENCY RESPONDER RADIO COVERAGE. PROVIDE SIGNAL STRENGTH OF -95 DB INTO & OUT OF THE BUILDING IN 95% OF AREAS ON EACH FLOOR OF THE BUILDING. PROVIDE A RADIATING CABLE SYSTEM, A DISTRIBUTED ANTENNA SYSTEM WITH FCC CERTIFIED SIGNAL BOOSTERS, OR OTHER SYSTEM APPROVED BY THE LOCAL FIRE DEPARTMENT TO ACHIEVE THE REQUIRED COVERAGE.
22. PROVIDE FIRE-BLOCKING & DRAFTSTOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL) AS PER CBC 718.
23. HANGERS & ASSEMBLY MEMBERS OF DROPPED CEILINGS BELOW A THE HORIZONTAL FIRE-RESISTANCE RATED FLOOR OR ROOF ASSEMBLIES SHALL BE NONCOMBUSTIBLE MATERIALS EXCEPT IN TYPE III & V CONSTRUCTION, WHERE FIRE-RETARDANT-TREATED WOOD MAY BE USED. (CBC SEC. 803.11.2.1)
24. PROTECT PENETRATIONS OF FIRE WALLS, FLOORS/CEILINGS & ROOF/CEILINGS WITH THROUGH-PENETRATION FIRESTOPS & MEMBRANE-PENETRATION FIRESTOPS IN ACCORDANCE WITH CBC 714 & AS SPECIFIED.
25. PROVIDE INTUMESCENT PAINT ON ALL EXPOSED STRUCTURAL STEEL MEMBERS & CONNECTIONS REQUIRED TO BE FIRE-RATED.
26. PROVIDE FIRE-RESISTANT EXTERIOR WALLS RATED FOR EXPOSURE TO FIRE FROM BOTH SIDES IN ACCORDANCE WITH CBC 705.5 & SECTION 1.11 REGULATED BY THE OFFICE OF THE STATE FIRE MARSHAL.
27. DO NOT EXCEED MAXIMUM FLAME-SPREAD CLASS OF FINISH MATERIALS USED ON INTERIOR WALLS & CEILINGS LISTED IN TABLE 803.9.

KEYNOTES

LEGEND - FIRE ACCESS PLAN

- FIRE ACCESS CLEARANCE
- FIRE HYDRANT
- FIRE HOSE REACH
- ADJACENT BUILDINGS

SAF VENTURES, LLC

1609-1615 S COAST-HIGHWAY
OCEANSIDE, CA 92054

SOUTH COAST HIGHWAY MIXED-USE

APN: 153-111-12-00
APN: 153-111-13-00

NO.	ISSUANCE/REVISION	DATE:
1	DEV. CONFERENCE	25/07/30

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DATE: 25-07-30 AL PROJECT NUMBER: 1-240313

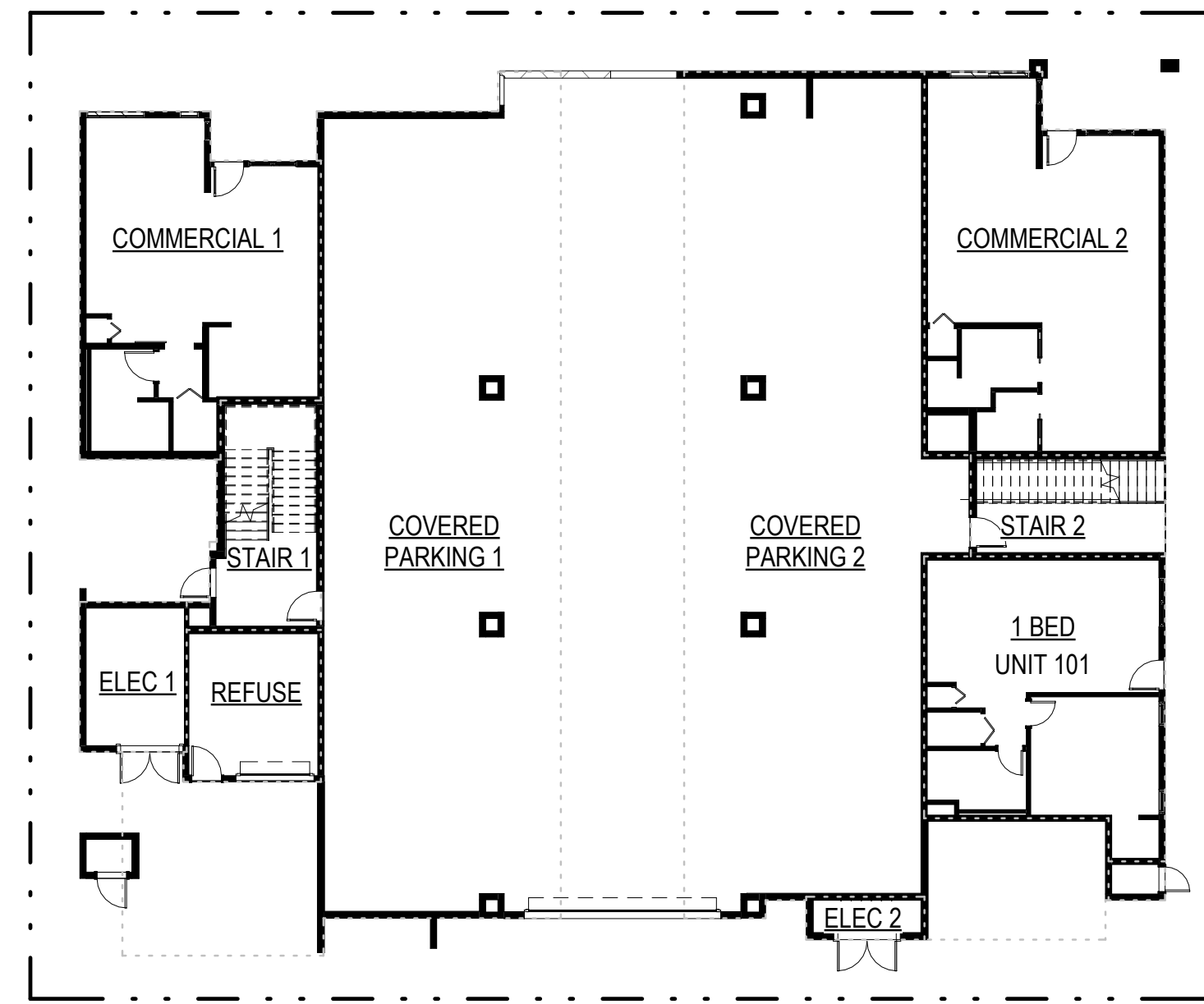
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As indicated

FIRE ACCESS PLAN

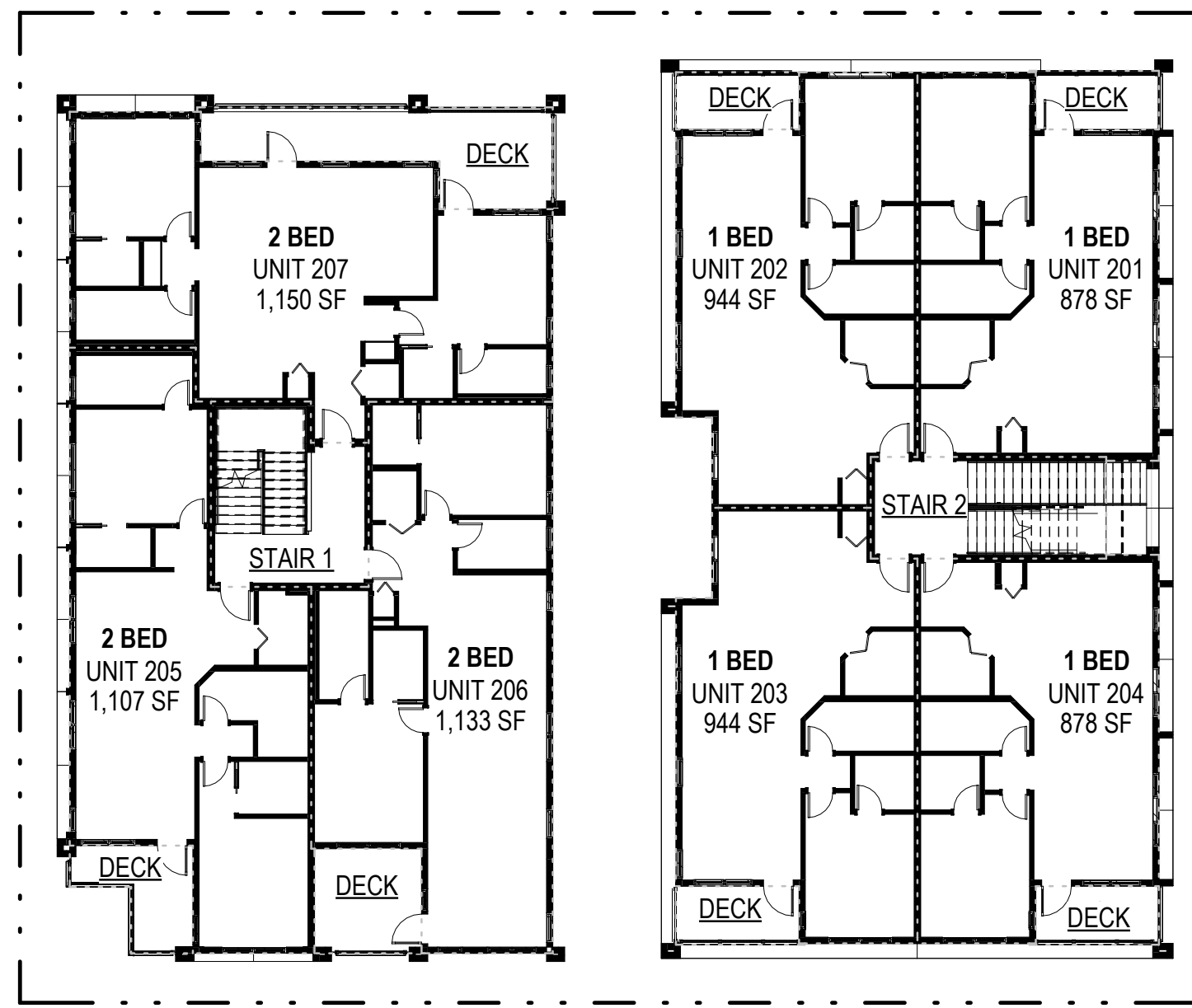
G200

S. COAST HIGHWAY CENTERLINE



ALLEY CENTERLINE

S. COAST HIGHWAY CENTERLINE

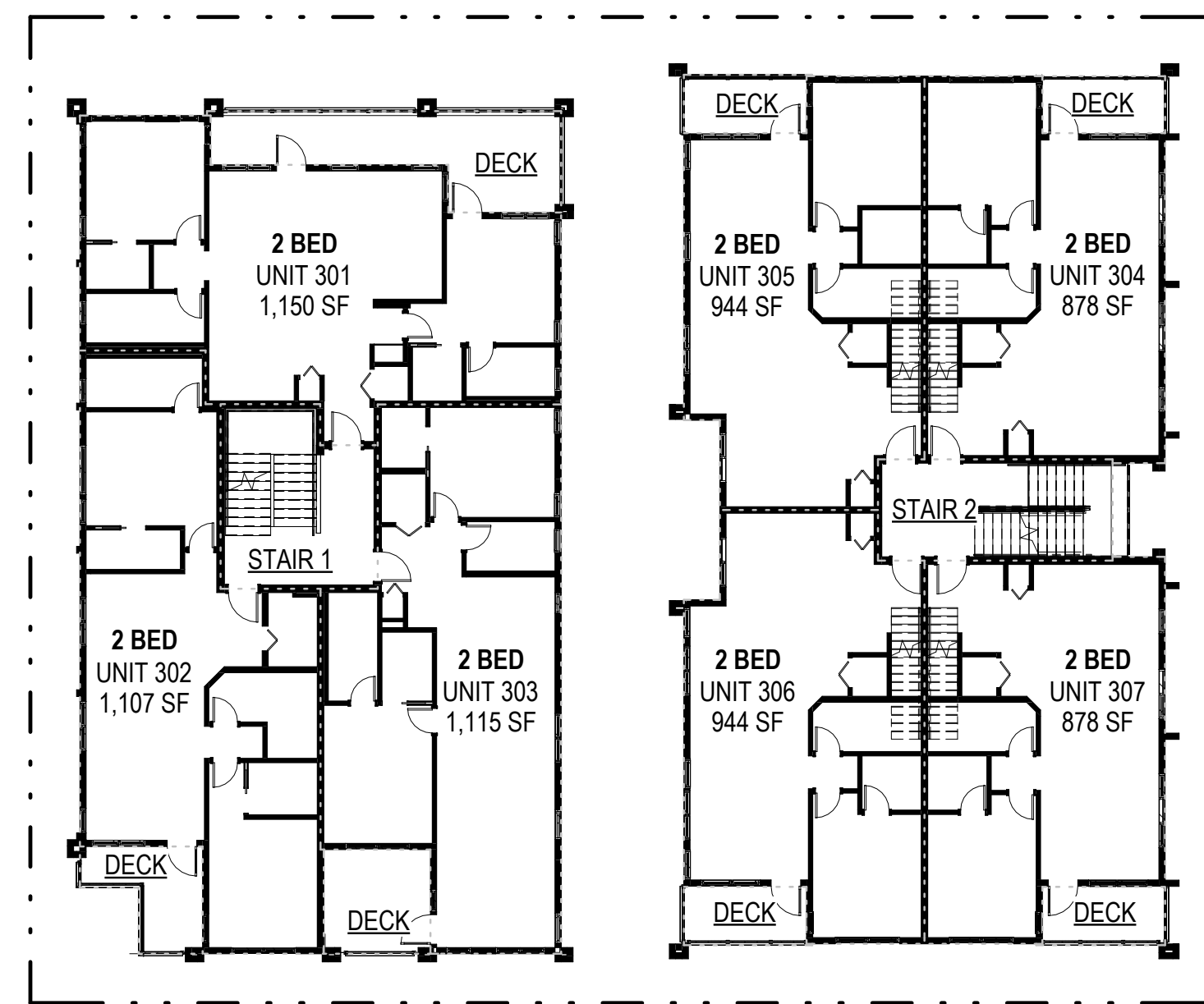


ALLEY CENTERLINE

1 GROSS AREA PLAN - LEVEL 1
1/16" = 1'-0"

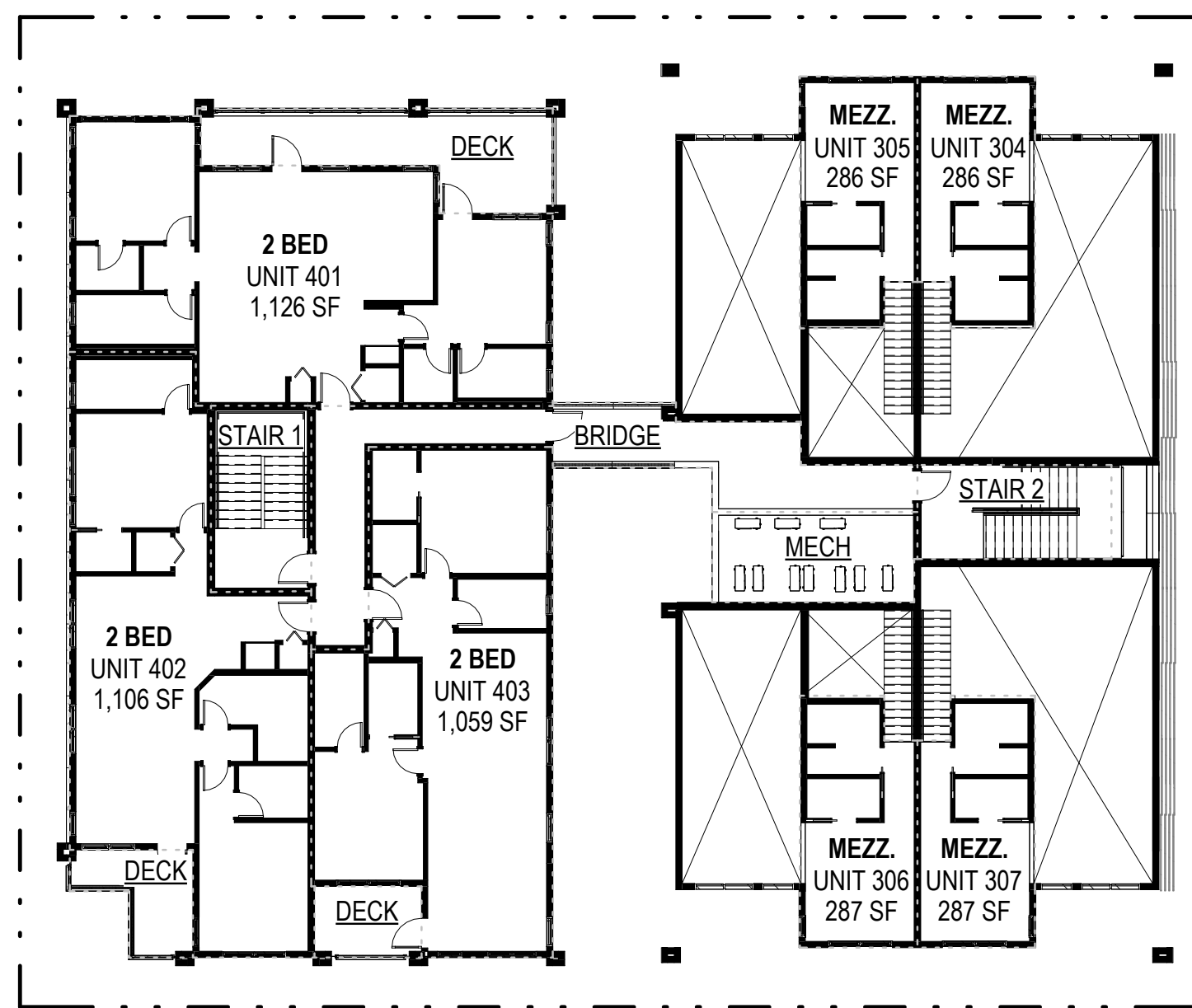
2 GROSS AREA PLAN - LEVEL 2
1/16" = 1'-0"

S. COAST HIGHWAY CENTERLINE



ALLEY CENTERLINE

S. COAST HIGHWAY CENTERLINE

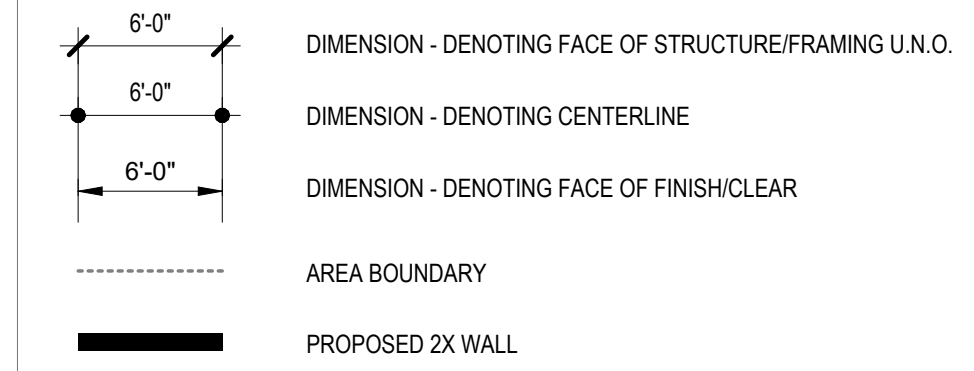


ALLEY CENTERLINE

3 GROSS AREA PLAN - LEVEL 3
1/16" = 1'-0"

4 GROSS AREA PLAN - LEVEL 4
1/16" = 1'-0"

LEGEND - AREA PLAN



GROSS RESIDENTIAL AREA

Name	Number	Gross Area
LEVEL 1		
1 BED	UNIT 101	674 SF
LEVEL 2		
1 BED	UNIT 201	878 SF
1 BED	UNIT 202	944 SF
1 BED	UNIT 203	944 SF
1 BED	UNIT 204	878 SF
2 BED	UNIT 205	1,107 SF
2 BED	UNIT 206	1,133 SF
2 BED	UNIT 207	1,150 SF
LEVEL 3		
2 BED	UNIT 301	1,150 SF
2 BED	UNIT 302	1,107 SF
2 BED	UNIT 303	1,115 SF
2 BED	UNIT 304	878 SF
2 BED	UNIT 305	944 SF
2 BED	UNIT 306	944 SF
2 BED	UNIT 307	878 SF
LEVEL 4		
MEZZ.	UNIT 304	286 SF
MEZZ.	UNIT 305	286 SF
MEZZ.	UNIT 306	287 SF
MEZZ.	UNIT 307	287 SF
2 BED	UNIT 401	1,126 SF
2 BED	UNIT 402	1,106 SF
2 BED	UNIT 403	1,059 SF
Grand total: 18		19,161 SF

GROSS BUILDING AREA

Name	Gross Area	Level
LEVEL 1		
1 BED	674 SF	LEVEL 1
COMMERCIAL 1	747 SF	LEVEL 1
COMMERCIAL 2	875 SF	LEVEL 1
COVERED PARKING 1	2,392 SF	LEVEL 1
COVERED PARKING 2	2,333 SF	LEVEL 1
ELEC 1	165 SF	LEVEL 1
ELEC 2	52 SF	LEVEL 1
REFUSE	211 SF	LEVEL 1
STAIR 1	256 SF	LEVEL 1
STAIR 2	202 SF	LEVEL 1
	7,907 SF	
LEVEL 2		
1 BED	878 SF	LEVEL 2
1 BED	944 SF	LEVEL 2
1 BED	944 SF	LEVEL 2
1 BED	878 SF	LEVEL 2
2 BED	1,150 SF	LEVEL 2
2 BED	1,107 SF	LEVEL 2
2 BED	1,133 SF	LEVEL 2
STAIR 1	274 SF	LEVEL 2
STAIR 2	244 SF	LEVEL 2
	7,552 SF	
LEVEL 3		
2 BED	1,150 SF	LEVEL 3
2 BED	1,107 SF	LEVEL 3
2 BED	1,115 SF	LEVEL 3
2 BED	878 SF	LEVEL 3
2 BED	944 SF	LEVEL 3
2 BED	944 SF	LEVEL 3
2 BED	878 SF	LEVEL 3
STAIR 1	274 SF	LEVEL 3
STAIR 2	244 SF	LEVEL 3
	7,534 SF	
LEVEL 4		
2 BED	1,126 SF	LEVEL 4
2 BED	1,106 SF	LEVEL 4
2 BED	1,059 SF	LEVEL 4
BRIDGE	456 SF	LEVEL 4
MECH	188 SF	LEVEL 4
MEZZ.	286 SF	LEVEL 4
MEZZ.	286 SF	LEVEL 4
MEZZ.	287 SF	LEVEL 4
MEZZ.	287 SF	LEVEL 4
STAIR 1	190 SF	LEVEL 4
STAIR 2	186 SF	LEVEL 4
Grand total: 39	28,457 SF	

NO.	ISSUANCE/REVISION	DATE:
1	DEV. CONFERENCE	25/07/30

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DATE: AL PROJECT NUMBER:

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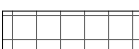
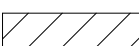
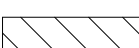
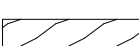

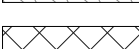
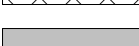
SCALE: AHJ PROJECT NUMBER:

As indicated

CBC AREA
CALCULATIONS

LEGEND - OPENING PERCENTAGES

REFER TO TABLE 705.8. ALL OPENINGS TAKEN FROM FACE OF BALCONY U.N.O

-  0 TO LESS THAN 3 FT; NOT PERMITTED.
-  3 TO LESS THAN 5 FT; MAXIMUM ALLOWED 15%.
-  5 TO LESS THAN 10 FT; MAXIMUM ALLOWED 25%.
-  10 TO LESS THAN 15 FT; MAXIMUM ALLOWED 45%.
-  15 TO LESS THAN 20 FT; MAXIMUM ALLOWED 75%.
-  20 TO LESS THAN 25 FT; NOT REQUIRED.
-  25 FT OR GREATER; NOT REQUIRED.
-  ELEVATIONS FACING THE RIGHT OF WAY, SUPERCEDES OPEN AREA CALCULATION.

OPENING SQ. FT	ACTUAL OPENING % IN WALL	MAX. ALLOWABLE %
0	0	0

OPEN AREA CALCULATION

SAF VENTURES, LLC

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

SOUTH COAST HIGHWAY MIXED-USE

APN: 153-111-12-00
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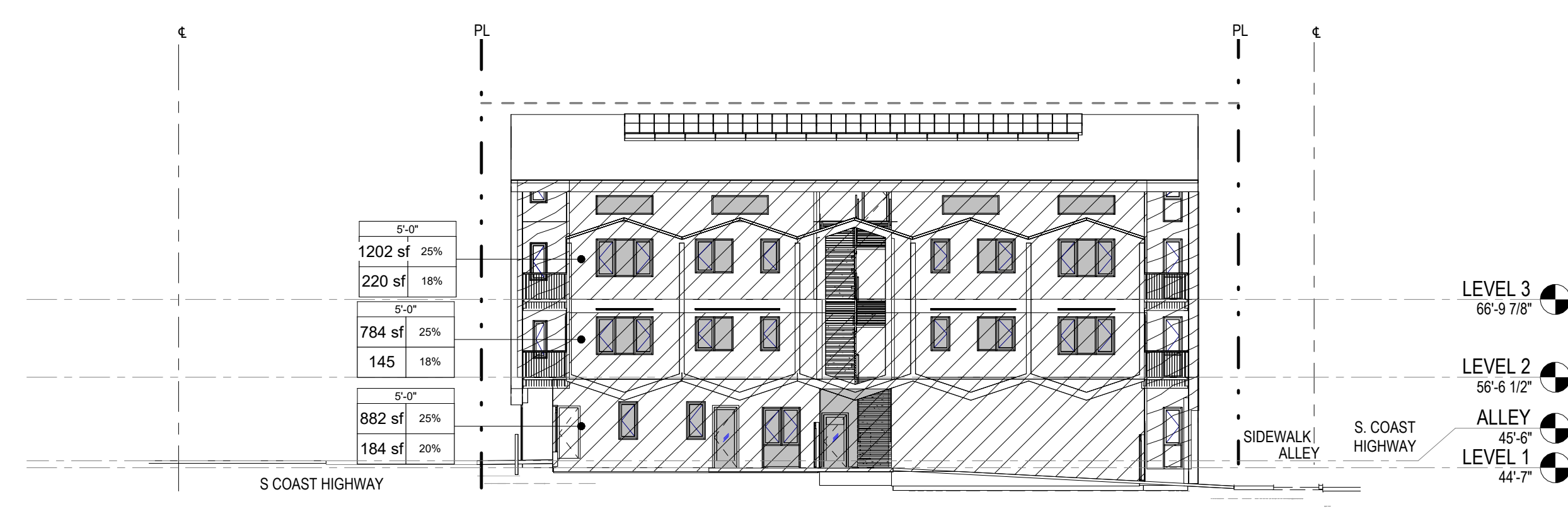
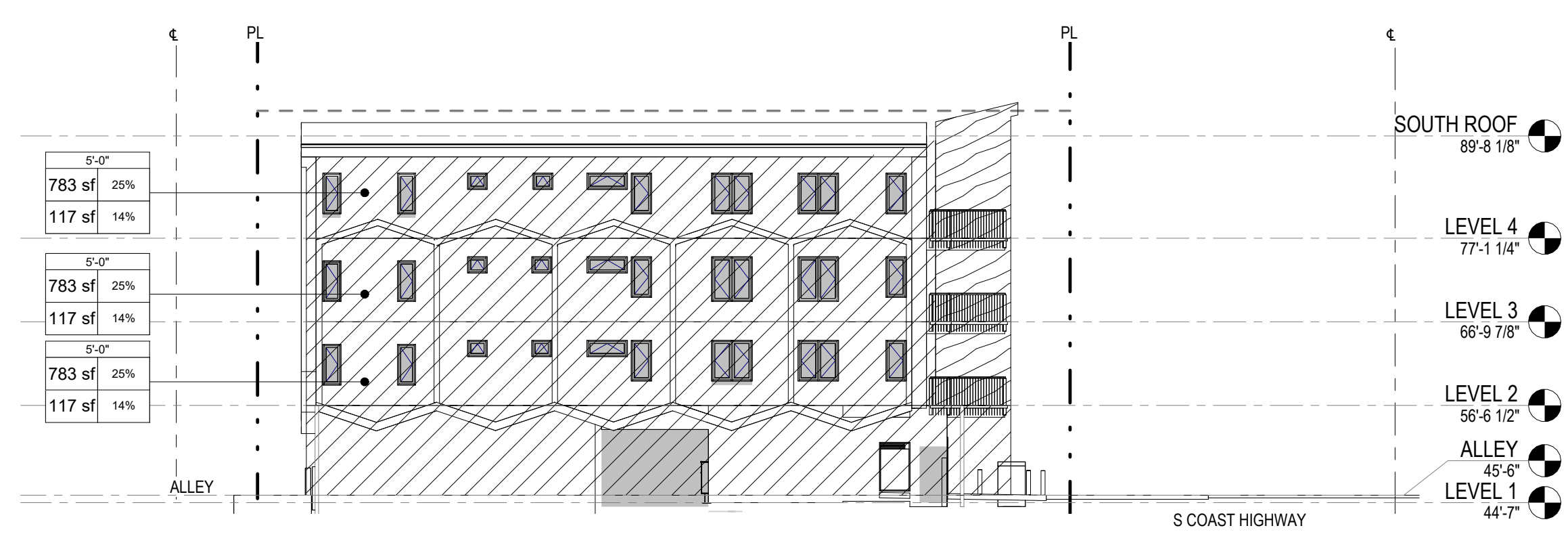
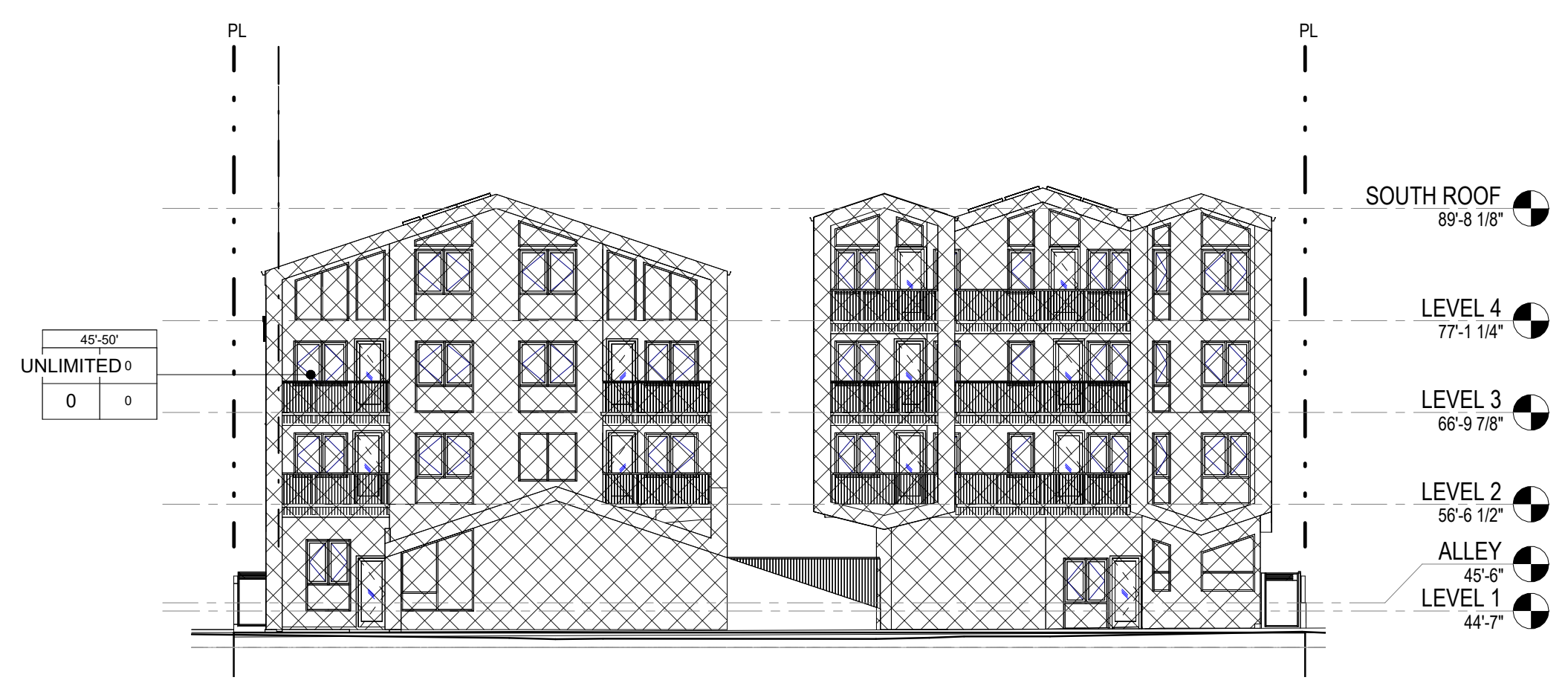
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DATE: 25-07-30 AL PROJECT NUMBER: 1-240313
SCALE: As indicated AHJ PROJECT NUMBER:

OPENNESS PERCENTAGE ANALYSIS

G301



2 NORTH - OPENING %1
1/16" = 1'-0"

3 SOUTH - OPENING %1
1/16" = 1'-0"

RD25-XXXXX

DEVELOPMENT PLAN / REGULAR COASTAL PERMIT 1615 S COAST HIGHWAY

LEGEND

PUBLIC RIGHT-OF-WAY	=====
PROPERTY BOUNDARY	-----
CENTERLINE OF ROAD	-----
ADJACENT PROPERTY LINE	-----
SETBACK LINE	-----

EXISTING EASEMENTS

- CITY OF OCEANSIDE, HOLDERS OF AN EASEMENT FOR PUBLIC RIGHT OF WAY PER DOCUMENT RECORDED APRIL 26, 1928 IN BOOK 1333, PAGE 405 OF OFFICIAL RECORDS. AFFECTS LOT D
- CITY OF OCEANSIDE, HOLDERS OF AN EASEMENT FOR PUBLIC RIGHT OF WAY PER DOCUMENT RECORDED APRIL 26, 1928 IN BOOK 1333, PAGE 409 OF OFFICIAL RECORDS. AFFECTS LOT C

PROPOSED EASEMENTS

NO EASEMENTS ARE PROPOSED AS PART OF THIS APPLICATION.

SETBACKS

FRONT YARD SETBACK (FYSB)	20' (PER ZONE)
REAR YARD SETBACK (RYSB)	15' (PER ZONE)
SIDE YARD SETBACK (SYSB)	5' (PER ZONE)

*SETBACKS PER CITY OF OCEANSIDE ZONING ORDINANCE.

ZONING INFORMATION

GENERAL PLAN DESIGNATION:	C2/CZ	PRESENT USE: COMMERCIAL / PARKING LOT
PRESENT ZONING REQUIREMENTS:	C2/CZ	PROPOSED USE: RESIDENTIAL
BUILDING HEIGHT:	35 FEET*	TOTAL UNITS: X4 MULTI-FAMILY RESIDENTIAL

*BUILDING HEIGHT ALLOWED IS 35 FEET/ 3 STORIES

UTILITIES

WATER	CITY OF OCEANSIDE WATER UTILITIES DISTRICT
FIRE	OCEANSIDE FIRE PROTECTION DISTRICT
SEWER	CITY OF OCEANSIDE
ELEMENTARY SCHOOL	OCEANSIDE UNIFIED SCHOOL DISTRICT
HIGH SCHOOL	OCEANSIDE HIGH SCHOOL DISTRICT

FEMA INFORMATION

FEMA FLOOD ZONE: ZONE X / NOT LOCATED WITHIN SPECIAL FLOOD ZONE
FIRM COMMUNITY PANEL: 06073C0761H
EFFECTIVE DATE: DECEMBER 20, 2019

SCOPE OF WORK

THIS PROJECT SEEKS APPROVAL TO DEMOLISH ALL EXISTING ONSITE STRUCTURES AND CONSTRUCT A MIXED-USE MULTI-RESIDENTIAL DEVELOPMENT CONSISTING OF 18 NEW RESIDENTIAL UNITS. THIS PROJECT SEEKS APPROVAL FOR A TENTATIVE PARCEL MAP, DEVELOPMENT PLAN, CONDITIONAL USE PERMIT AND REGULAR COASTAL PERMIT.

SITE ACCESS

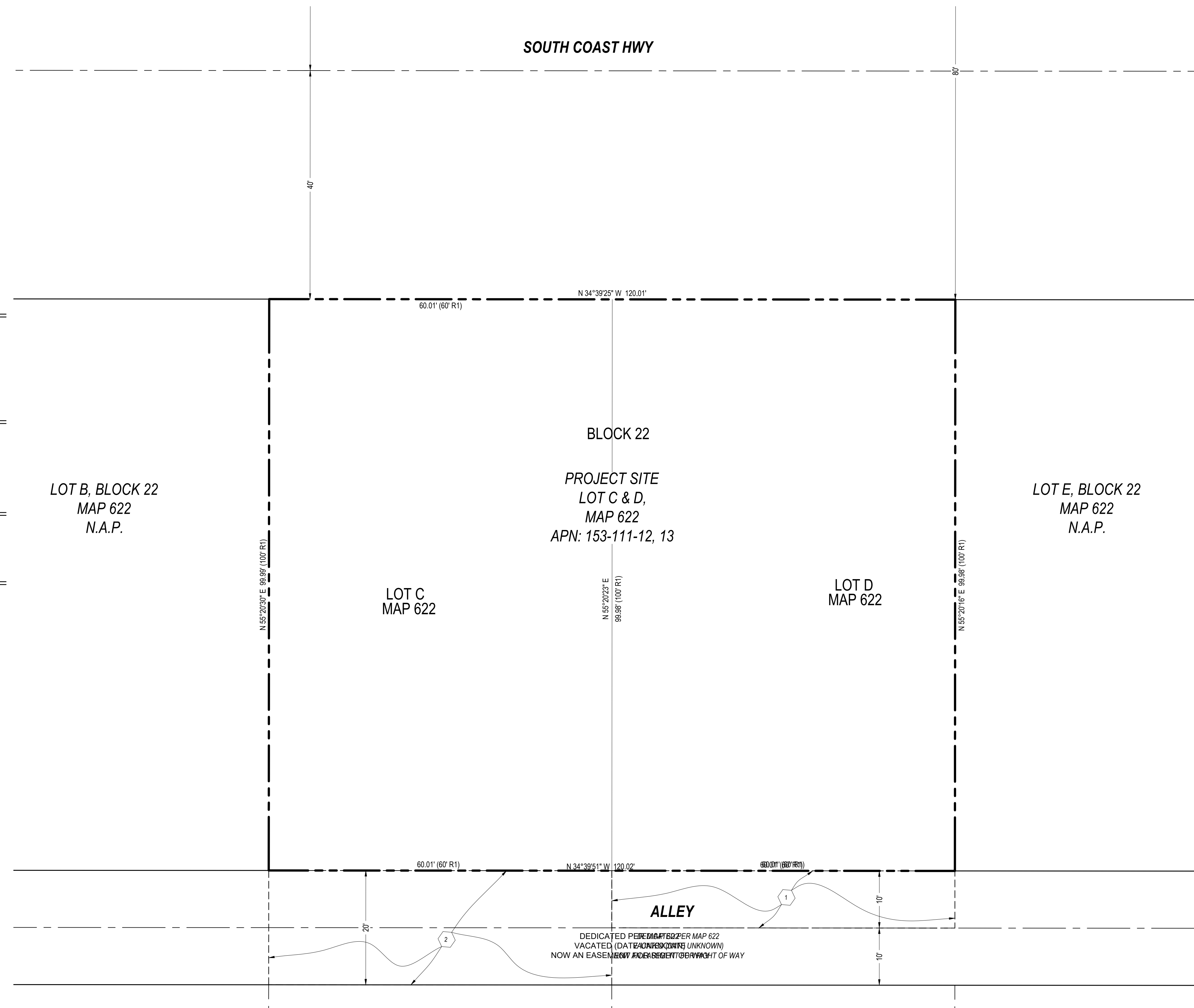
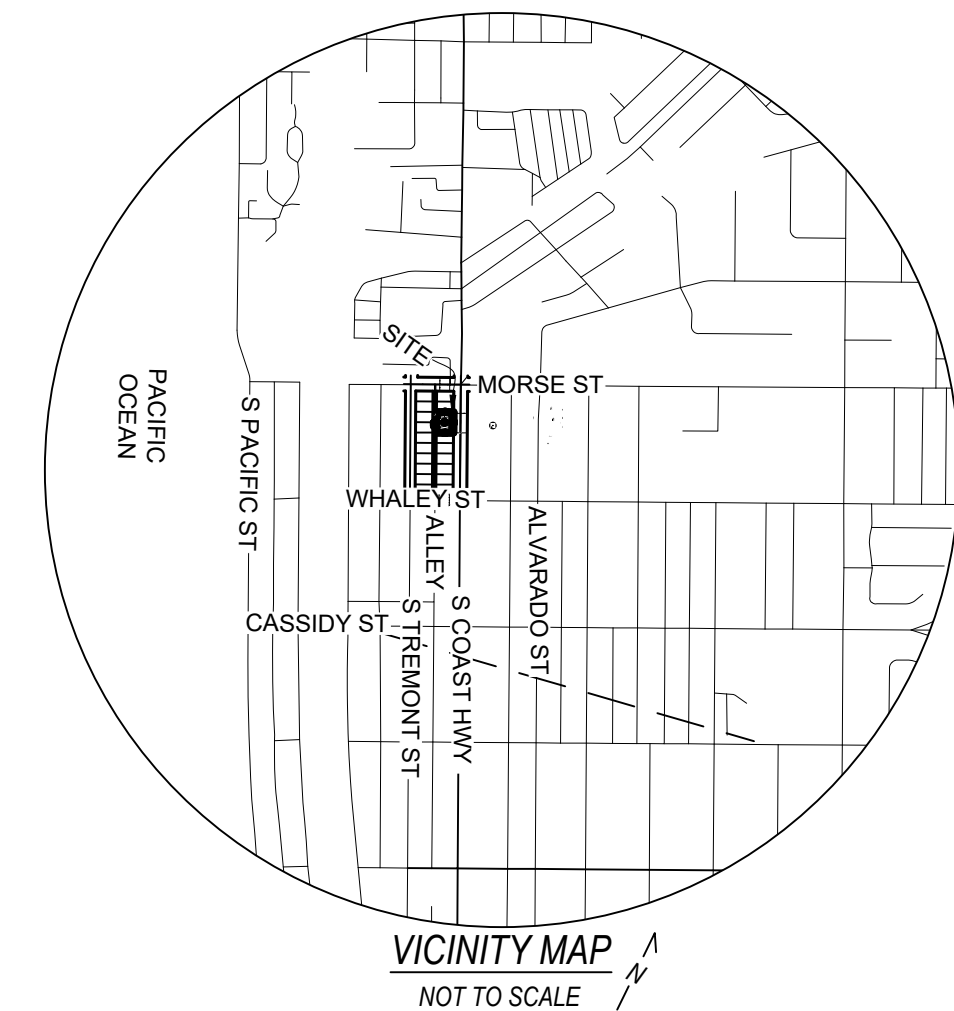
VEHICULAR ACCESS PROVIDED FROM PUBLIC ALLEY

RECORD REFERENCES

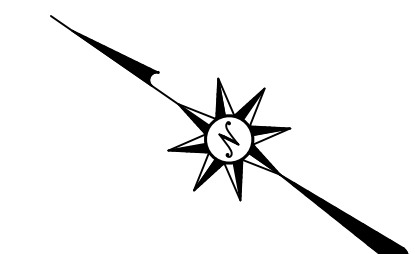
R1 - MAP 622

CIVIL SHEET INDEX

SHEET 1	01-TITLE
SHEET 2	PRELIMINARY GRADING PLAN



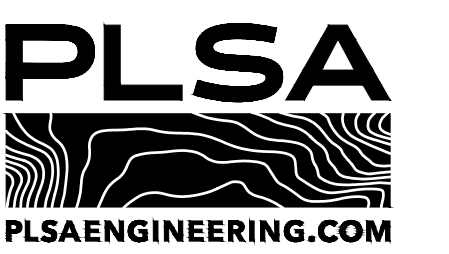
PLAN VIEW - LOT LAYOUT
SCALE: 1" = 10' HORIZONTAL



ENGINEER OF WORK

PRELIMINARY
WILLIAM G. MACK

PE NO. 73620



OWNER INFORMATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED COASTAL DEVELOPMENT PERMIT AND THAT SAID PLAN SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATE BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

OWNER: **PRELIMINARY**

OCEANSIDE VENTURES LLC
5330 CARROLL CANYON ROAD, SUITE 200
SAN DIEGO CA 92121

LEGAL DESCRIPTION

LOTS C AND D IN BLOCK 22 OF SOUTH OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO.622, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, FEBRUARY 7, 1890.

SITE ADDRESS

1609 & 1615 S COAST HWY, OCEANSIDE CA 92054
APN: 153-111-12.13

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCS83) EPOCH 2011.00, ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN FIRST ORDER CONTROL STATIONS 2131 AND 1011 BEING A GRID BEARING OF N 71°52'00" W AND DISTANCE OF 2553.68' AS DERIVED FROM GEODETIC VALUES SHOWN ON RECORD OF SURVEY 21787, CITY OF OCEANSIDE SURVEY CONTROL, FILED ON AUGUST 21ST, 2014 AS FILE NUMBER 2014-0361129 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON POINT 2131, A 3.5" BRASS DISC WITH CROSS STAMPED H131 1933 FOUND IN 8" CONCRETE MONUMENT IN THE NORTHWEST QUADRANT OF CASSIDY ST AND BROADWAY ST, AS SHOWN IN THE CITY OF OCEANSIDE RECORD OF SURVEY MAP NO. 21787. ELEVATION: 40.80' (NGVD 88)

EARTHWORK / PROJECT GRADING TABULATIONS

CUT QUANTITY:	XX CY	MAX CUT HEIGHT:	0.X FT
FILL QUANTITY:	XX CY	MAX FILL HEIGHT:	0.X FT
(IMPORT)EXPORT:	XX CY	OVER-EXCAVATION:	0.0 CY
		AND RE-COMPACTION:	0.0 CY

REMEDIAL: 0 CY

ESTIMATE DOES NOT INCLUDE STRIPPING OR UTILITY TRENCH VOLUMES, IF REQUIRED BY SITE CONDITIONS. CONTRACTOR SHALL SATISFY SELF THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK. EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. (CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS). DEPTH & QUANTITY OF REMEDIAL GRADING IS SUBJECT TO FIELD VERIFICATION BY PROJECT SOILS ENGINEER IN FIELD DURING EXCAVATION.

SURVEY NOTE

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED ON APRIL 24, 2025. BY:

PASCO, LARET, SUITER & ASSOCIATES
1911 SAN DIEGO AVENUE, SUITE 100
SAN DIEGO, CA 92110
PH: (619) 259-8212

SURVEYOR STATEMENT

THE BOUNDARY SHOWN HEREON ACCURATELY REPRESENTS A BOUNDARY SURVEY PERFORMED BY ME OR UNDER MY DIRECTION ON 04/22/2025. EASEMENTS OF RECORD SHOWN HEREON REPRESENT PLOTTING OF SAID DOCUMENTS TITLE COMMITMENT PROVIDED BY STEWART TITLE COMPANY WITH ORDER NO 25000480367 DATED APRIL 23, 2025.
SURVEYOR:

DISTURBED AREA CALCULATIONS

TOTAL PROPERTY AREA: 12,000 SF (0.275 AC)
TOTAL DISTURBED AREA: 12,000 SF (0.275 AC)

IMPERVIOUS AREA CALCULATIONS

TOTAL PROPERTY AREA: 9991 SF
EXISTING IMPERVIOUS AREA: x,xxx SF
PROPOSED IMPERVIOUS AREA: (TOTAL) x,xxx SF
NEW: x,xxx SF
REPLACED: x,xxx SF
PROPOSED PERVIOUS AREA: xxx SF

CONSTRUCTION NOTES

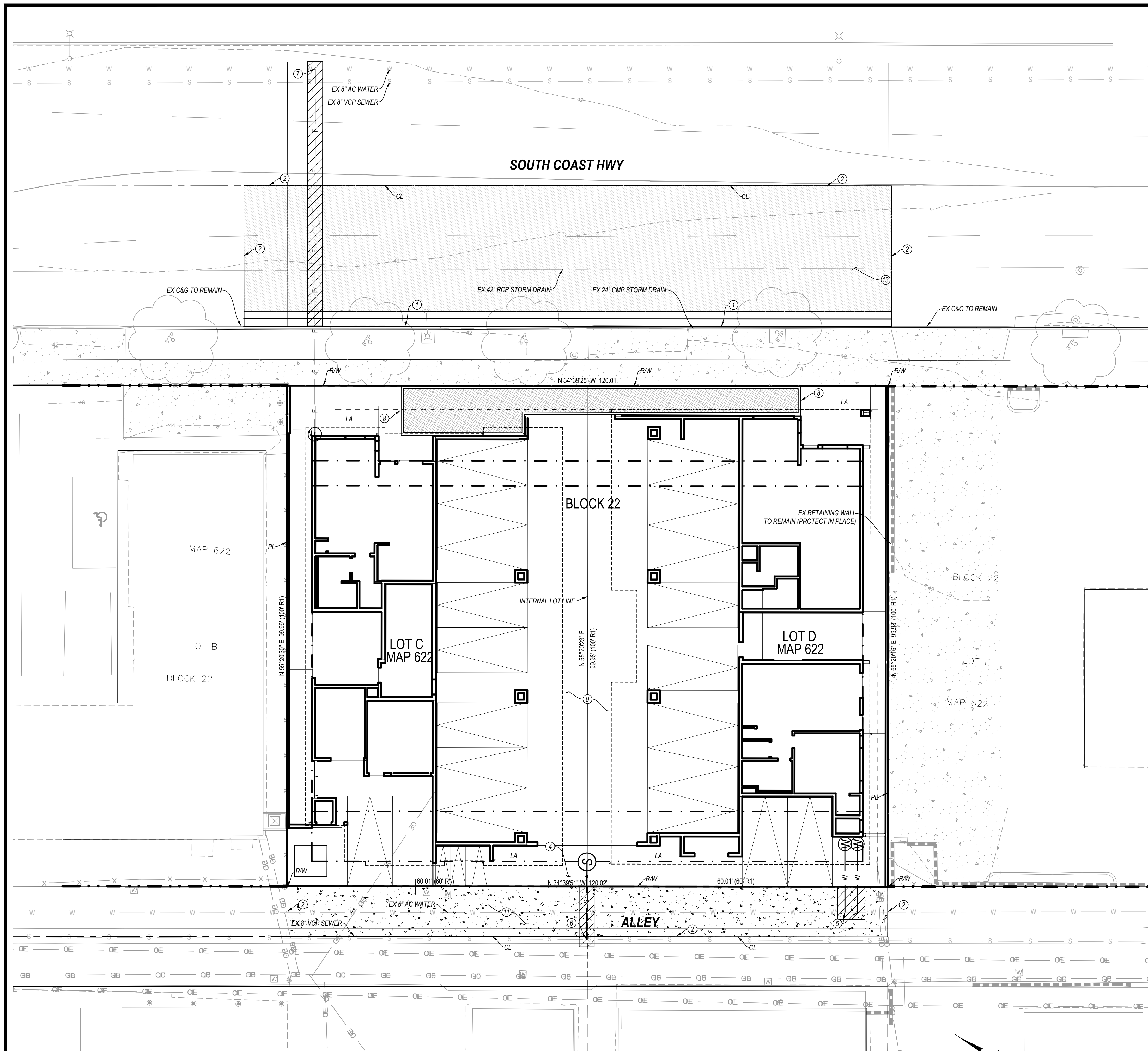
- ① INSTALL 6" CURB AND GUTTER ---
- ② LIMITS OF ROADWAY REPLACEMENT (SAWCUT AND MATCH EXISTING) ---
- ③ INSTALL CROSS GUTTER PER CITY OF OCEANSIDE STD DWG ---
- ④ INSTALL PCC DRIVEWAY ---
- ⑤ INSTALL 12" WATER SERVICE ---
- ⑥ INSTALL 12" SEWER LATERAL ---
- ⑦ INSTALL CROSS GUTTER PER CITY OF OCEANSIDE STD DWG ---
- ⑧ INSTALL LANDSCAPE PLANTER ---
- ⑨ INSTALL PCC DRIVE AISLE ---
- ⑩ REMOVE AND REPLACE ALLEY APRON ---
- ⑪ REMOVE AND REPLACE EXISTING ALLEY ---
- ⑫ INSTALL PCC SIDEWALK ---
- ⑬ INSTALL PEDESTRIAN CURB RAMP ---

LEGEND

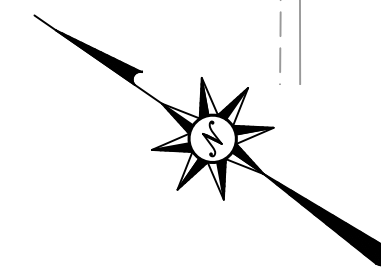
PROPERTY BOUNDARY	---
CENTERLINE OF ROAD	---
ADJACENT PROPERTY LINE	---
PUBLIC RIGHT-OF-WAY	---
SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED DIRECTION OF FLOW	→
PROPOSED PCC CURB & GUTTER	SDRSD G-2
PROPOSED PCC DRIVEWAY (WIDTH PER PLAN)	---
PROPOSED STEM WALL	---
PROPOSED ARCH WALL	---
PROPOSED PCC PAVEMENT	---
PROPOSED 2" AC GRIND AND OVERLAY	---
PROPOSED TRENCH & AC RESTORATION	---
PROPOSED SAWCUT OF AC PAVEMENT	---
PROPOSED 1" DOMESTIC WATER SERVICE, METER AND BACKFLOW	OSD W-4, W-12
PROPOSED 1" IRRIGATION WATER SERVICE, METER AND BACKFLOW	OSD W-4, W-12
PROPOSED 4" FIRE SERVICE WITH DDCVA & U.L. LISTED 2-WAY FDC	OSD W-14
PROPOSED 4" PVC SEWER LATERAL W/ 4" CLEANOUT AND 12" CAST IRON LID	OSD S-4 & SDRSD SC-01
PROPOSED PRIVACY FENCE	---
EXISTING FENCE	---
EXISTING WATER MAIN (SIZE PER PLAN)	---
EXISTING SEWER MAIN (SIZE PER PLAN)	---
EXISTING GAS MAIN (SIZE PER PLAN)	---
EXISTING OVERHEAD UTILITIES	---
EXISTING SURVEY MONUMENT	●

SITE NOTES

1. EXISTING SURVEY MONUMENTS THAT ARE DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY.
2. ALL UTILITIES SHOWN HEREON ARE PER BEST AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL POT HOLE TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT WORK SITE. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD UPON DISCOVERY OF ANY DISCREPANCIES.
3. ALL STREET SIGNS, LIGHTS, LAMPS, UTILITIES, ETC. LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED IN-PLACE DURING CONSTRUCTION OR REPLACED TO THE SATISFACTION OF THE CITY OF OCEANSIDE.
4. EXISTING WATER SERVICE AND METER SERVING SUBJECT PROPERTY TO BE ABANDONED PER THE CITY OF OCEANSIDE STANDARDS AND STANDARD DRAWING (OSD) W-06



PRELIMINARY GRADING PLAN
SCALE: 1" = 10'

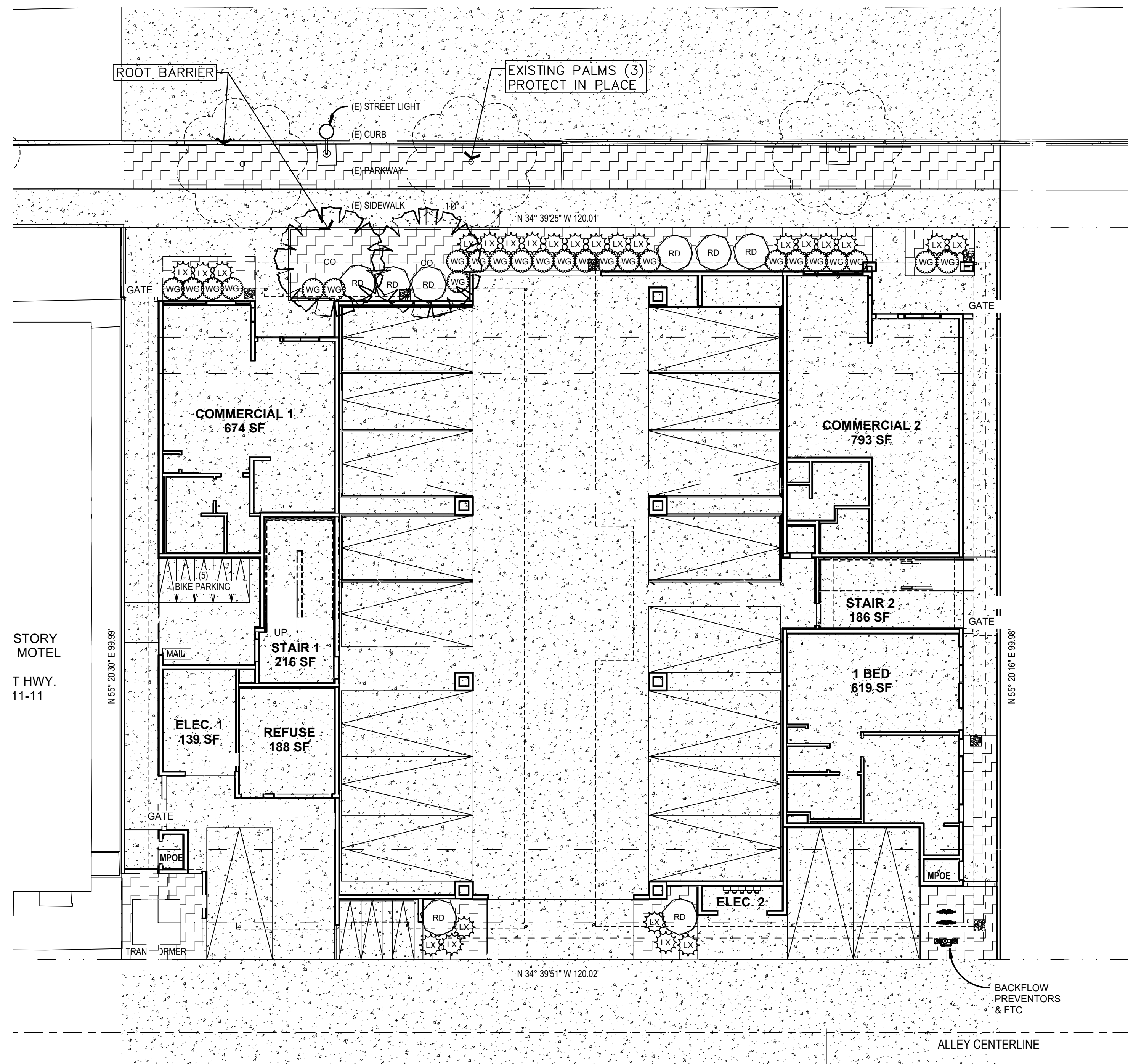


ENGINEER OF WORK

PRELIMINARY
WILLIAM G. MACK

PE NO. 73620





STORY
MOTEL
T HWY.
11-11

1 SITE PLAN
1" = 10'-0"



Cercis occidentalis
Western Redbud
Euphorbia cotinifolia
Caribbean Copper Plant



Lippia nodiflora
Kurapia
Ruschia lineolata 'Nana'
Carpet of Stars
Dianella revoluta
Dianella
Lomandra 'LM600'
Dwarf Mat Rush
Pittosporum 'Beach Ball'
Kohuhu
Rhaphiolepis umbellata
Dwarf Yedda Hawthorn
Westringia fruticosa ;Wes04'
Westringia Grey Box

CONCEPTUAL PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL/COMMON NAME	SIZE	WUCOLS	CONT SIZE	QTY
	CO	Cercis occidentalis or Euphorbia cotinifolia	15'x15' LOW		24" box	2
	LX	Lomandra 'LM600' or Dianella revoluta	1.5'x1.5' LOW		5 gal	24
	RD	Rhaphiolepis umbellata 'Minor' Std. or Ligustrum texanum Std.	6'x3' LOW		15 gal	8
	WG	Westringia fruticosa 'Wes04'. or Pittosporum 'Beach Ball'	3'x3' LOW		5 gal	24
	LA	Lippia nodiflora 'Kurapia S1'. or Ruschia lineolata	2" x 3' LOW		Flats 12" o.c.	

IRRIGATION NOTES:

- ALL AREAS TO BE IRRIGATED WITH INLINE DRIP SYSTEM.
- DRIP TO BE INSTALLED WITH FILTRATION AND PRESSURE REGULATION.
- ALL AREAS ARE HYDROZONED "LOW".
- TREES TO BE IRRIGATED WITH DEDICATED BUBBLERS ON VALVE.
- SYSTEM TO BE OPERATED BY "SMART CONTROLLER" TECHNOLOGY WITH RAIN SENSOR.
- A SUB-METER TO BE PROVIDED FOR IRRIGATION.
- AN IRRIGATION PLAN SHALL BE PREPARED WITH CONSTRUCTION DOCUMENTS AND SHALL INCLUDE ALL DETAILS AND SPECIFICATION NECESSARY TO COMPLETE THE SYSTEM.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 46.7						
Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)†	ETAF (PF/IE)	Landscape Area (sq. ft.)	Estimated Total Water Use (ETWU)‡
Regular Landscape Areas						
1. Low Trees & Shrubs	0.3	Drip	0.81	0.62	1,122	415.56
2.	0.0	-	0.81	0.62	0	0
3.	0.0	-	-	-	0	0
4.	0.0	-	-	-	0	0
*ROW areas not included in calcs.					Totals	438
Special Landscape Areas						
					1	0
					1	0
					1	0
					Totals	0
					ETWU Total	12,109
					Maximum Allowed Water Allowance (MAWA)§	13,732

*Hydrozone #/Planting Description
E.g.
1) front lawn
2) low water use plantings
3) medium water use planting

†Irrigation Method
overhead spray or drip

‡ETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

§MAWA (Annual Gallons Allowed) = (ETo) (0.62) (ETAF x LA) + ((1-ETAF) x SLA)
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet. and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B)	415.56
Total Area	(A)	1,122
Average ETAF	B ÷ A	.37

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)	415.56
Total Area	(A+C)	1,122
Sitewide ETAF	(B+D) ÷ (A+C)	.37

A copy of this form may be obtained from Department of Water Resources website:
<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/>



740 13th Street, Suite 504
San Diego, CA 92101
P: (619) 535-0537
www.architectlocal.com



SAF VENTURES, LLC

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

SOUTH COAST HIGHWAY MIXED-USE

APN: 153-111-12-00
APN: 153-111-13-00

NO. 1 ISSUANCE/REVISION: DATE: 05/29/25
DEV. CONFERENCE

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. © ARCHITECTS LOCAL 2025.

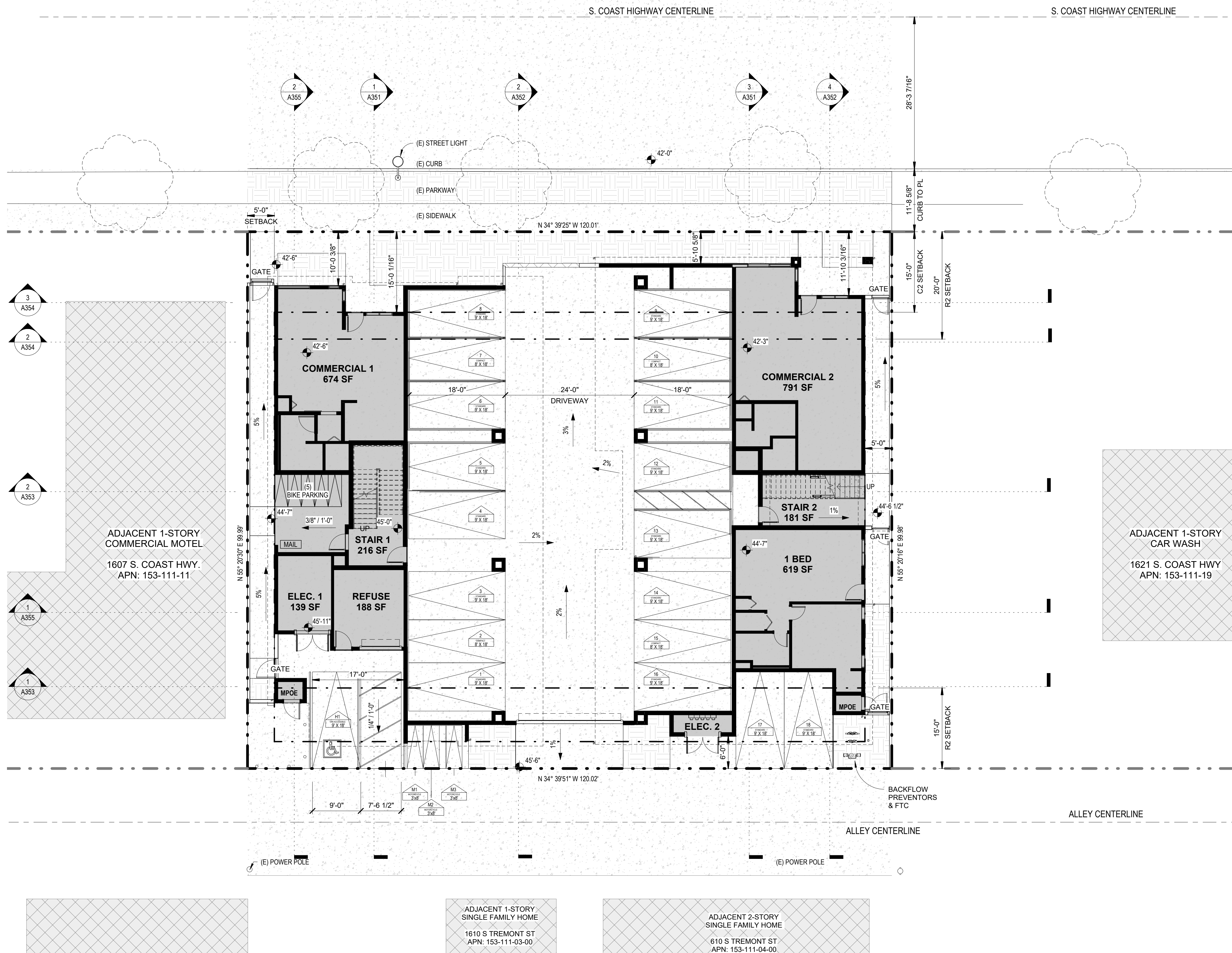
DATE: 25-06-11 AL PROJECT NUMBER: 1-240313

SCALE: ASHJ PROJECT NUMBER:

As indicated

CONCEPTUAL LANDSCAPE PLAN

L100



- LEGEND - SITE PLAN**
- BUILDING FOOTPRINT
 - EXISTING BUILDING
 - CONCRETE DRIVEWAY, SEE CIVIL DRAWINGS
 - CONCRETE PAVING, SEE CIVIL DRAWINGS
 - PLANTING AREA, SEE CIVIL & LANDSCAPE DRAWINGS
 - MULCH AREA, SEE CIVIL & LANDSCAPE DRAWINGS
 - STAMPED CONCRETE, SEE CIVIL & LANDSCAPE DRAWINGS
 - 48" ACCESSIBILITY PATH
 - PROPERTY LINE
 - SETBACK LINES
 - STREET CENTER LINE
 - ACCESSIBLE PATH OF TRAVEL

**SAF VENTURES,
LLC**

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

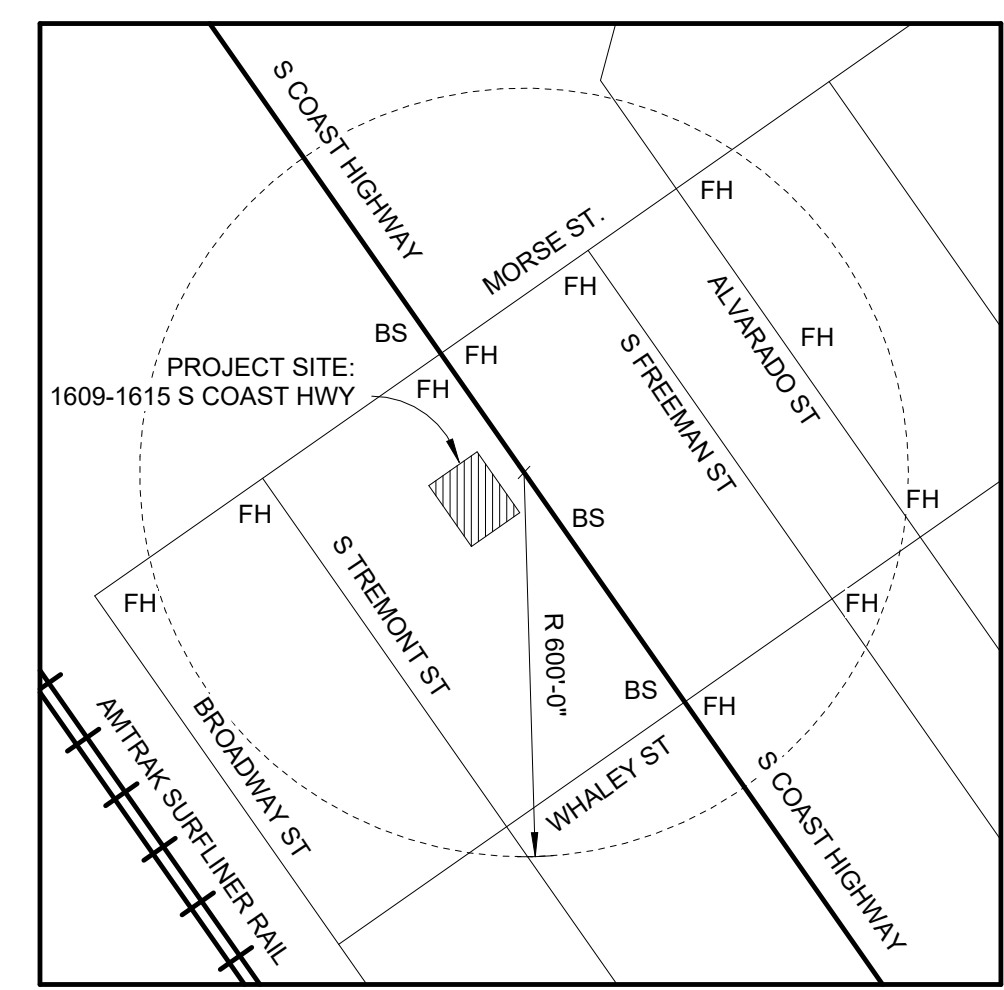
**SOUTH COAST
HIGHWAY
MIXED-USE**

APN: 153-111-12-00
APN: 153-111-13-00

NO.	ISSUANCE/REVISION	DATE
1	DEV. CONFERENCE	25/07/30

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. © ARCHITECTS LOCAL 2023.

DATE: 25-07-30 AL PROJECT NUMBER: 1-240313
SCALE: ASHJ PROJECT NUMBER: As indicated



FH = FIRE HYDRANT
BS = BUS STOP

2 600' RADIUS MAP
1" = 300'-0"

1 SITE PLAN
1" = 10'-0"

**ARCHITECTURAL
SITE PLAN**

A010

GENERAL NOTES - ELEVATIONS

- DIMENSIONS: TO TOP OF PLATE, TOP OF CONCRETE, OR TOP OF CEMENTITIOUS UNDERLAYMENT, UNO.
- DIMENSIONS GOVERN; DO NOT SCALE DRAWINGS.
- DO NOT ADJUST CLEAR DIMENSIONS UNLESS APPROVED BY ARCHITECT.
- FINISH FLOOR ELEVATIONS: SEE CIVIL & STRUCTURAL.
- SEE CIVIL FOR ADJACENT HARDSCAPE ELEVATIONS & WHERE EXTERIOR STAIRS L& ON EXTERIOR HARDSCAPE; VERIFY ELEVATIONS WITH CIVIL.
- EXTERIOR LIGHT FIXTURES: SEE ELECTRICAL.
- CEMENT PLASTER CONTROL JOINTS, COMPLY WITH SPECIFICATIONS:
 - PROVIDE JOINTS IN PANELS AS SHOWN OR AS INDICATED BELOW.
 - JOINTS TO BE CONTINUOUS ALONG SURFACES & AROUND CORNERS.
 - MAXIMUM PANEL DIMENSION: 18 FT IN EITHER DIRECTION
 - MAXIMUM VERTICAL AREA: 144 SF
 - MAXIMUM AREA FOR HORIZONTAL, CURVED, OR ANGULAR PANELS: 100 SF
 - MAXIMUM PANEL LENGTH TO WIDTH RATIO: 2 TO 1
- ABBREVIATIONS & SYMBOLS: THIS SHEET & G-SERIES SHEETS

LEGEND - ELEVATIONS

- 6'-0" DIMENSION - DENOTING FACE OF STRUCTURE/FRAMING U.N.O.
- 6'-0" DIMENSION - DENOTING CENTERLINE
- 6'-0" DIMENSION - DENOTING FACE OF FINISH/CLEAR
- # GRID LINE REFERENCE - FACE OF STUD
- STUCCO - COLOR: WHITE, FINISH: SMOOTH
- STUCCO - COLOR: GRAY, FINISH: SMOOTH
- EXHAUST AIR LOUVER
- INTAKE AIR LOUVER
- SIM BUILDING SECTION REFERENCE
- SIM WALL SECTION REFERENCE
- EXISTING GRADE
- PROPOSED GRADE

LEGEND - MATERIALS

- TILE ACCENT MATERIAL
- VERTICAL WOOD COMPOSITE SIDING
- WHITE STUCCO
- DARK/GRAY STUCCO ACCENT
- MURAL WALL
- VINYL GRAY WINDOW MULLIONS
- ASPHALT SHINGLE
- STEEL GUARDRAILS

SAF VENTURES, LLC

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

SOUTH COAST HIGHWAY MIXED-USE

APN: 153-111-12-00
APN: 153-111-13-00

NO.	ISSUANCE/REVISION	DATE:
1	DEV. CONFERENCE	25/07/30

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. © ARCHITECTS LOCAL 2023.

DATE: 25-07-30 AL PROJECT NUMBER: 1-240313
SCALE: ASHJ PROJECT NUMBER: As indicated

BUILDING ELEVATION - NORTH & SOUTH

A301



1 BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



2 BUILDING ELEVATION - NORTH
1/8" = 1'-0"

KEYNOTES

GENERAL NOTES - ELEVATIONS

- DIMENSIONS: TO TOP OF PLATE, TOP OF CONCRETE, OR TOP OF CEMENTITIOUS UNDERLAYMENT, UNO.
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- EXTERIOR LIGHT FIXTURES: SEE ELECTRICAL.
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- ABBREVIATIONS & SYMBOLS: THIS SHEET & G-SERIES SHEETS

LEGEND - ELEVATIONS

- 6'-0" DIMENSION - DENOTING FACE OF STRUCTURE/FRAMING U.N.O.
- 6'-0" DIMENSION - DENOTING CENTERLINE
- 6'-0" DIMENSION - DENOTING FACE OF FINISH/CLEAR
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- STUCCO - COLOR: WHITE, FINISH: SMOOTH
- STUCCO - COLOR: GRAY, FINISH: SMOOTH
- EXHAUST AIR LOUVER
- INTAKE AIR LOUVER
- SIM BUILDING SECTION REFERENCE DWG. NO. SHEET NO.
- SIM WALL SECTION REFERENCE DWG. NO. SHEET NO.
- EXISTING GRADE
- PROPOSED GRADE

LEGEND - MATERIALS

- TILE ACCENT MATERIAL
- VERTICAL WOOD COMPOSITE SIDING
- WHITE STUCCO
- DARK/GRAY STUCCO ACCENT
- MURAL WALL
- VINYL GRAY WINDOW MULLIONS
- ASPHALT SHINGLE
- STEEL GUARDRAILS

NO.	ISSUANCE/REVISION	DATE
1	DEV. CONFERENCE	25/07/30

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. © ARCHITECTS LOCAL 2023.

DATE: 25-07-30 AL PROJECT NUMBER: 1-240313

SCALE: As indicated AHJ PROJECT NUMBER:

As indicated

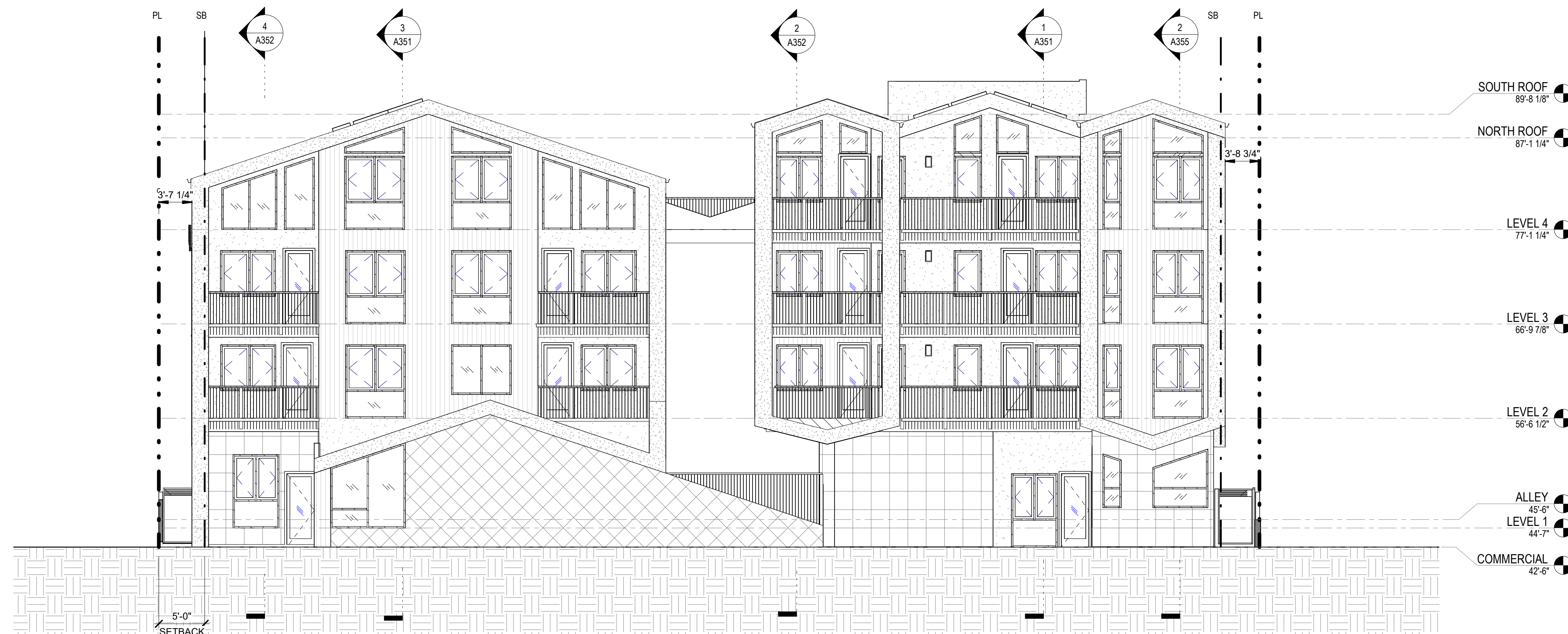
BUILDING
ELEVATION - EAST
AND WEST

A302

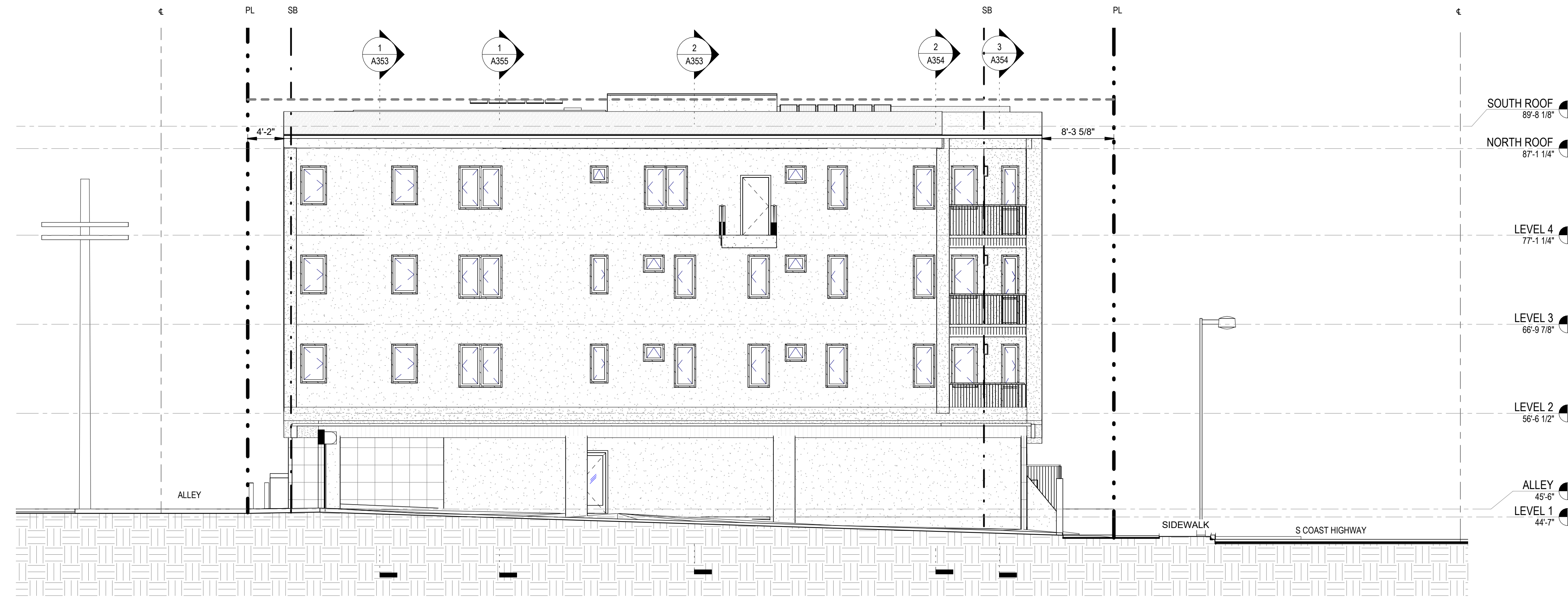
KEYNOTES



1 BUILDING ELEVATION - WEST
1/8" = 1'-0"



2 BUILDING ELEVATION - EAST
1/8" = 1'-0"



2 INTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

GENERAL NOTES - ELEVATIONS

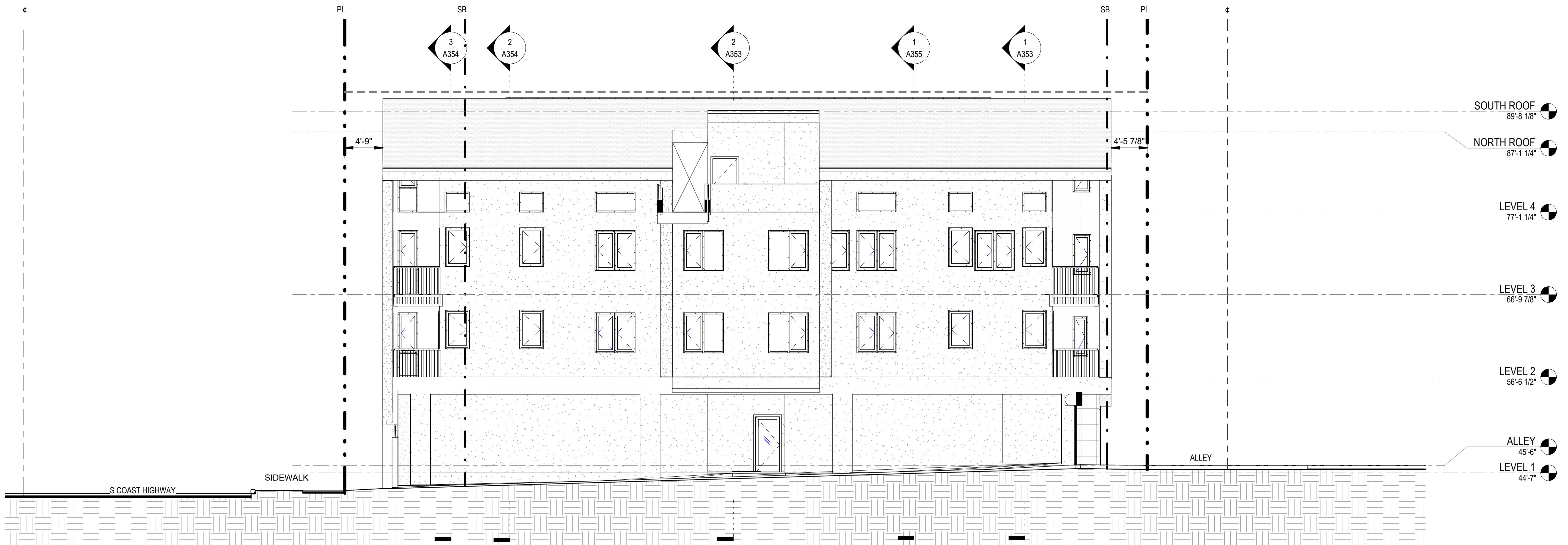
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LEGEND - ELEVATIONS

- 6'-0" DIMENSION - DENOTING FACE OF STRUCTURE/FRAMING U.N.O.
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- STUCCO - COLOR: GRAY, FINISH: SMOOTH
- EXHAUST AIR LOUVER
- INTAKE AIR LOUVER
- BUILDING SECTION REFERENCE (SIM A101)
- WALL SECTION REFERENCE (SIM A101)
- EXISTING GRADE
- PROPOSED GRADE

LEGEND - MATERIALS

- TILE ACCENT MATERIAL
- VERTICAL WOOD COMPOSITE SIDING
- WHITE STUCCO
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- MURAL WALL
- VINYL GRAY WINDOW MULLIONS
- ASPHALT SHINGLE
- STEEL GUARDRAILS



1 INTERIOR ELEVATION - NORTH
1/8" = 1'-0"

KEYNOTES

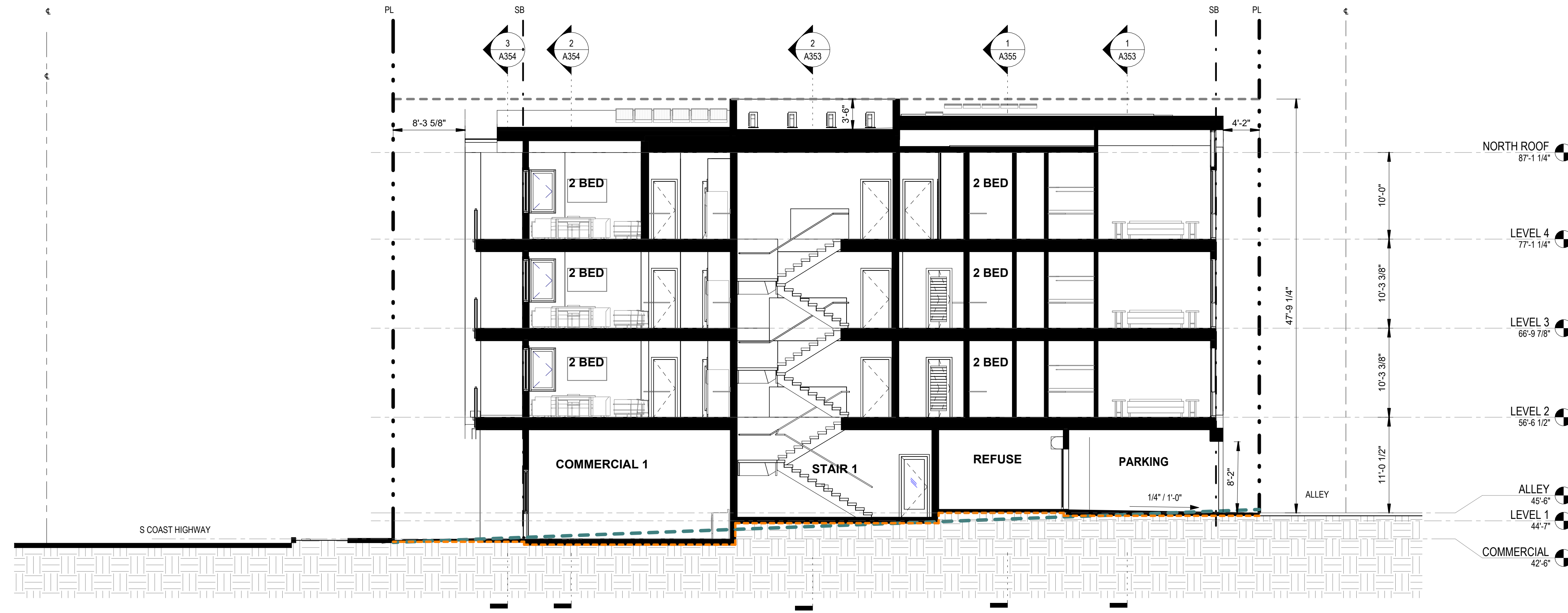
NO.	ISSUANCE/REVISION	DATE:
1	DEV. CONFERENCE	25/07/30

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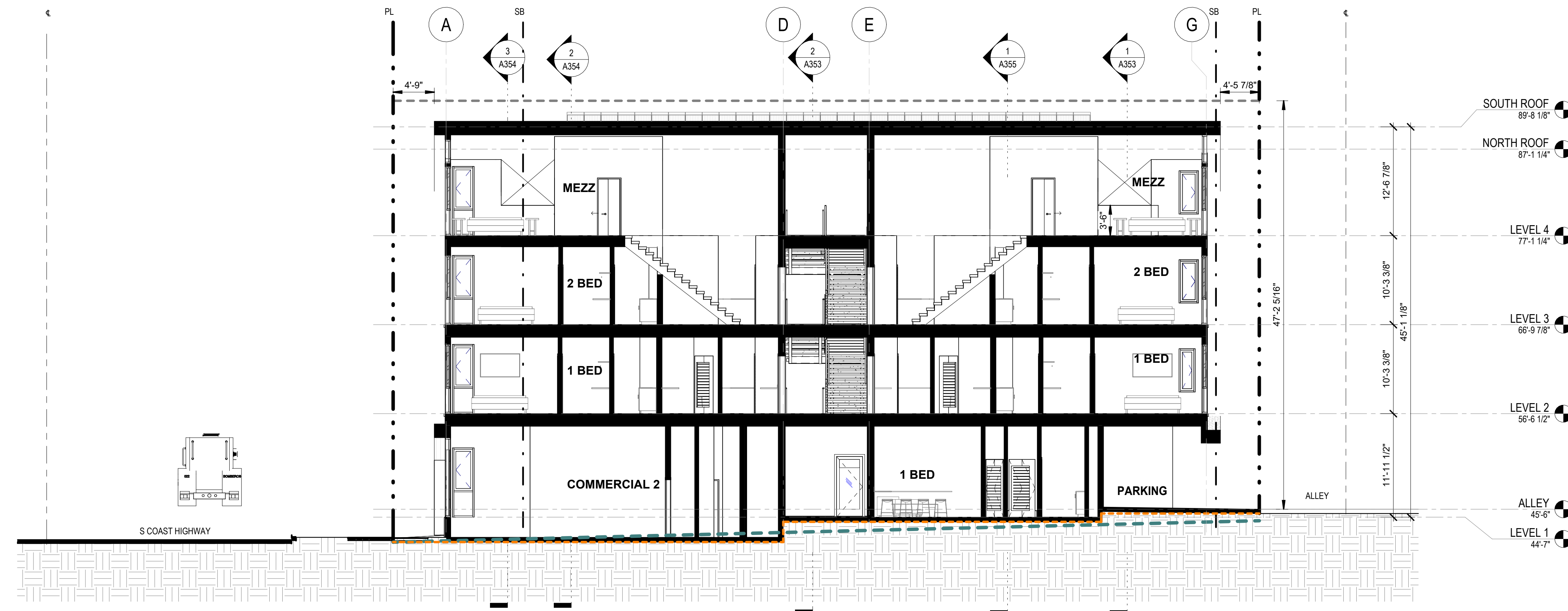
DATE: 25-07-30 AL PROJECT NUMBER: 1-240313

SCALE: As indicated AHJ PROJECT NUMBER:

As indicated



1 SECTION 1 - LONGITUDINAL
1/8" = 1'-0"



3 SECTION 3 - LONGITUDINAL
1/8" = 1'-0"

LEGEND - BUILDING SECTIONS

- 6'-0" DIMENSION - DENOTING FACE OF STRUCTURE/FRAMING U.N.O.
- 6'-0" DIMENSION - DENOTING CENTERLINE
- 6'-0" DIMENSION - DENOTING FACE OF FINISH/CLEAR
- # GRID LINE REFERENCE - FACE OF STUD, EDGE OF CMU/CONCRETE
- EARTH
- 0 HOUR RATED WALL
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- 2 HOUR RATED WALL
- A1 WINDOW TAG SEE SHEET A610
- 101 DOOR TAG, SEE SHEET A601
- R RAILING TAG, SEE SHEET A510
- WSA WALL TAG SEE SHEETS A701 THRU A705
- F1 FLOOR/CEILING/ROOF TAG SEE A710
- - - - - EXISTING GRADE
- - - - - PROPOSED GRADE

**SAF VENTURES,
LLC**

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

**SOUTH COAST
HIGHWAY
MIXED-USE**

APN: 153-111-12-00
APN: 153-111-13-00

NO.	ISSUANCE/REVISION	DATE
1	DEV. CONFERENCE	25/07/30

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. © ARCHITECTS LOCAL 2023.

DATE: 25-07-30 AL PROJECT NUMBER: 1-240313
SCALE: 1/8" = 1'-0" AHJ PROJECT NUMBER:

**BUILDING
SECTIONS -
LONGITUDINAL**

A351



2 SECTION 2 - LONGITUDINAL
1/8" = 1'-0"



4 SECTION 4 - LONGITUDINAL
1/8" = 1'-0"

GENERAL NOTES - SECTIONS

- LEVEL 1 FINISH FLOOR REFERENCE IS 0'-0". SEE CIVIL DRAWINGS FOR ELEVATION ABOVE SEA LEVEL.
- WHEN SHOWN IN SITE PLAN, DIMENSIONS ARE TO FACE OF FINISH, TO PROPERTY LINES, IMAGINARY PROPERTY LINES, SETBACKS, ETC., UNO.
- DIMENSIONS GOVERN, DO NOT SCALE DRAWINGS.
- SEE BUILDING PLANS FOR ADDITIONAL NOTES & DIMENSIONS.
- SEE G SERIES SHEETS FOR ACCESSIBILITY NOTES & DETAILS.
- SEE CIVIL & STRUCTURAL FOR GROUND LEVEL FINISH FLOOR ELEVATIONS.
- OFF-SITE IMPROVEMENTS SHOWN ARE FOR REFERENCE ONLY.
- SEE CIVIL FOR EXTERIOR GRADING & DRAINAGE.
- DO NOT ENCROACH INTO ADJACENT PROPERTIES OR EASEMENTS.
- PROPERTY OWNER WILL MAINTAIN DRAINAGE FACILITIES LOCATED WITHIN THE PARCEL. PROVIDE APPROPRIATE CONTROLS TO PREVENT DAMAGE TO EXISTING DRAINAGE FACILITIES & DOWNSTREAM PROPERTIES.
- ENCLOSED PARKING GARAGES:
 - 406.6 ENCLOSED PARKING GARAGES: COMPLY WITH SECTIONS 406.6.1 THROUGH 406.6.3.
 - 406.6.1 HEIGHTS & AREAS: LIMIT ENCLOSED VEHICLE PARKING GARAGES & PORTIONS THEREOF THAT DO NOT MEET THE DEFINITION OF OPEN PARKING GARAGES TO ALLOWABLE HEIGHTS & AREAS SPECIFIED IN SECTIONS 504 & 506 AS MODIFIED BY SECTION 507.
 - 406.6.2 VENTILATION: PROVIDE MECHANICAL VENTILATION SYSTEM.
 - 406.6.3 AUTOMATIC SPRINKLER SYSTEM: EQUIP ENCLOSED PARKING WITH AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.10.

LEGEND - BUILDING SECTIONS

- 6'-0" DIMENSION - DENOTING FACE OF STRUCTURE/FRAMING U.N.O.
- 6'-0" DIMENSION - DENOTING CENTERLINE
- 6'-0" DIMENSION - DENOTING FACE OF FINISH/CLEAR
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- RAILING TAG, SEE SHEET A510
- WALL TAG SEE SHEETS A701 THRU A705
- FLOOR/CEILING/ROOF TAG SEE A710
- EXISTING GRADE
- PROPOSED GRADE

KEYNOTES

SAF VENTURES,
LLC

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

SOUTH COAST
HIGHWAY
MIXED-USE

APN: 153-111-12-00
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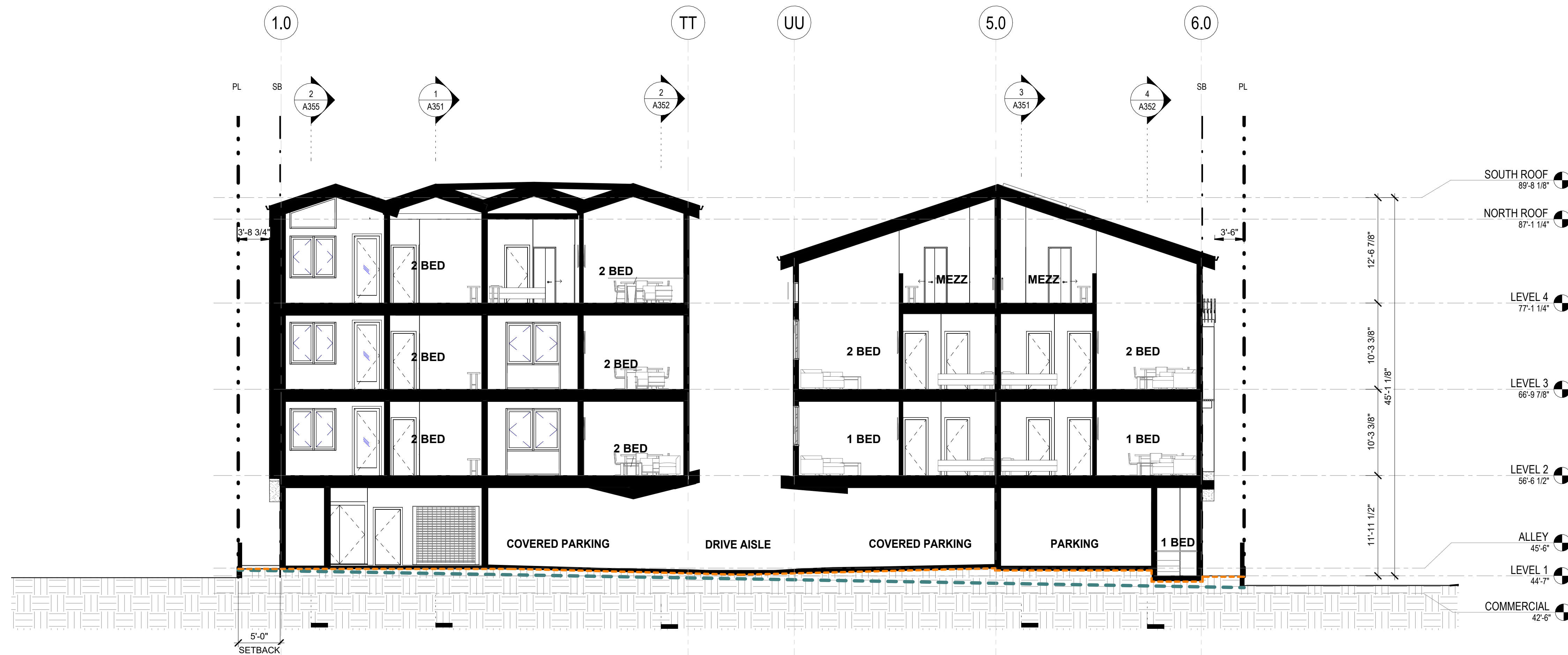
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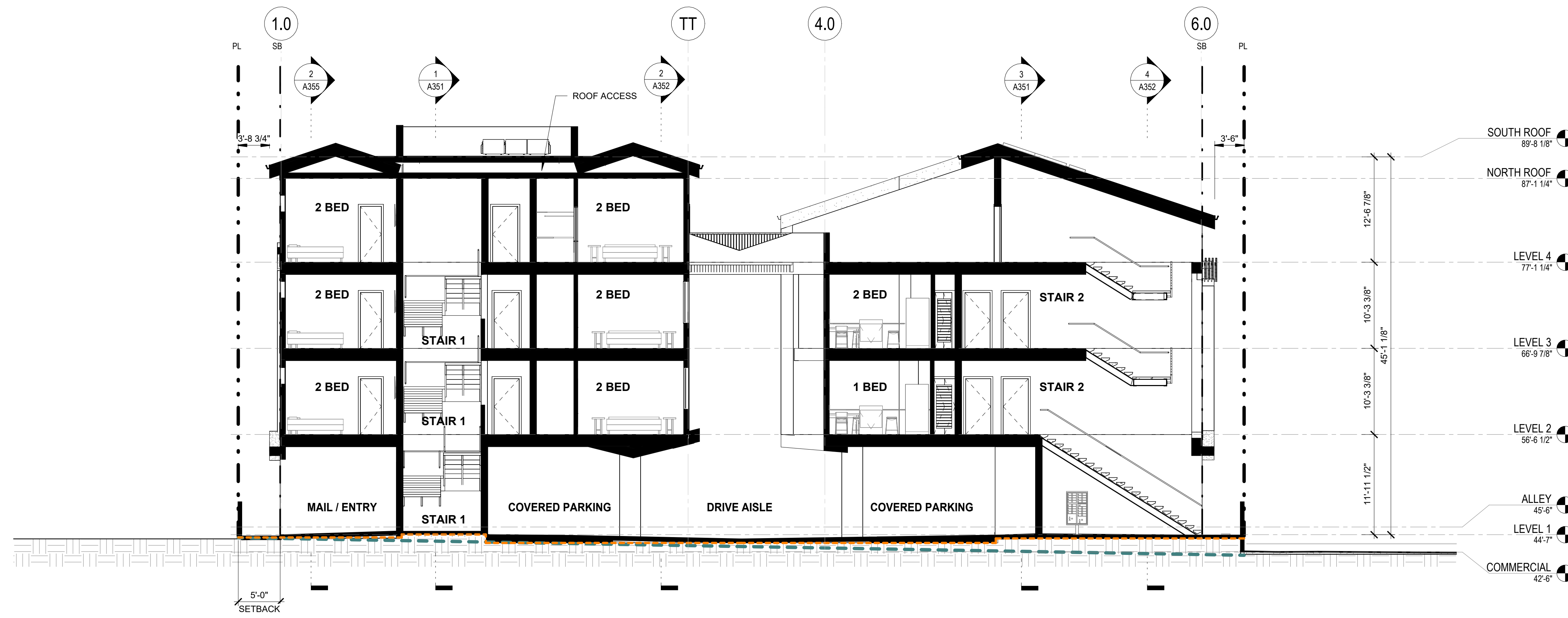
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BUILDING
SECTIONS -
LONGITUDINAL

A352



1 SECTION 1 - TRANSVERSE
1/8" = 1'-0"



2 SECTION 2 - TRANSVERSE
1/8" = 1'-0"

LEGEND - BUILDING SECTIONS

- DIMENSION - DENOTING FACE OF STRUCTURE/FRAMING U.O.
- DIMENSION - DENOTING CENTERLINE
- DIMENSION - DENOTING FACE OF FINISH/CLEAR
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**SAF VENTURES,
LLC**

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

**SOUTH COAST
HIGHWAY
MIXED-USE**

APN: 153-111-12-00
APN: 153-111-13-00

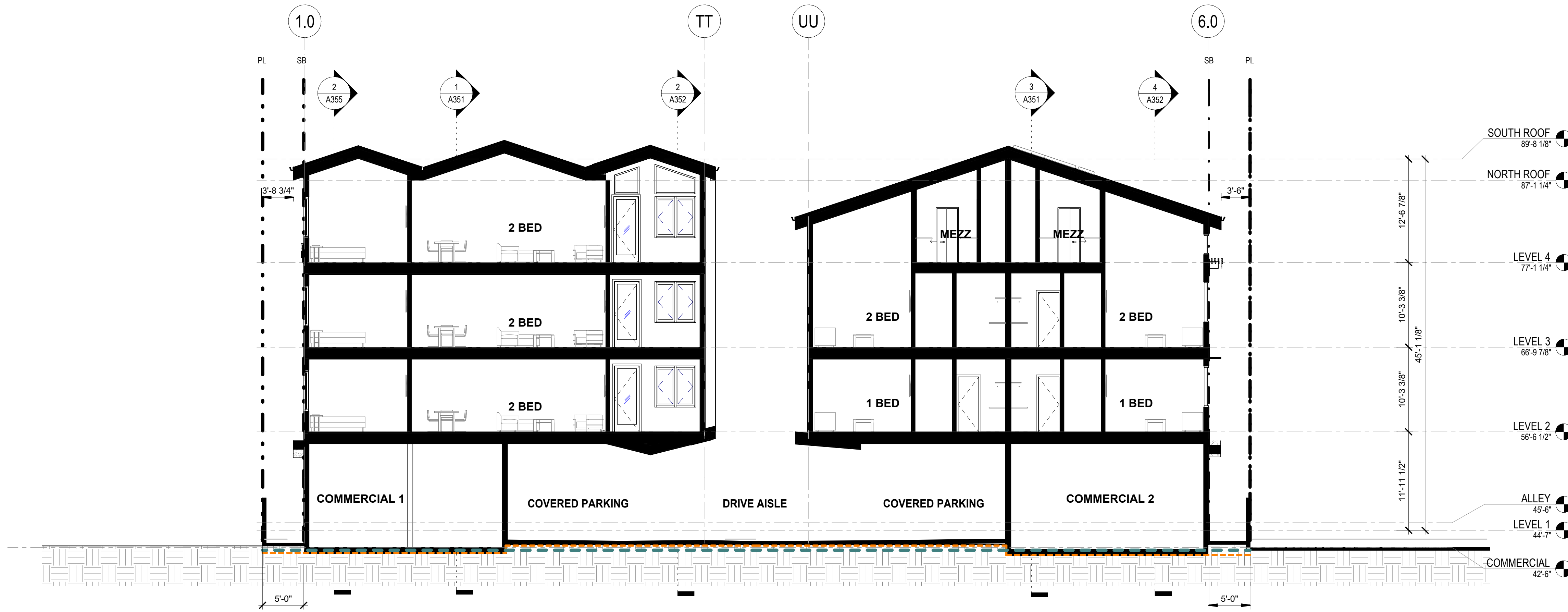
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DATE: 25-07-30 AL PROJECT NUMBER: 1-240313
SCALE: 1/8" = 1'-0" AHJ PROJECT NUMBER:

**BUILDING
SECTIONS -
TRANSVERSE**

A353



LEGEND - BUILDING SECTIONS

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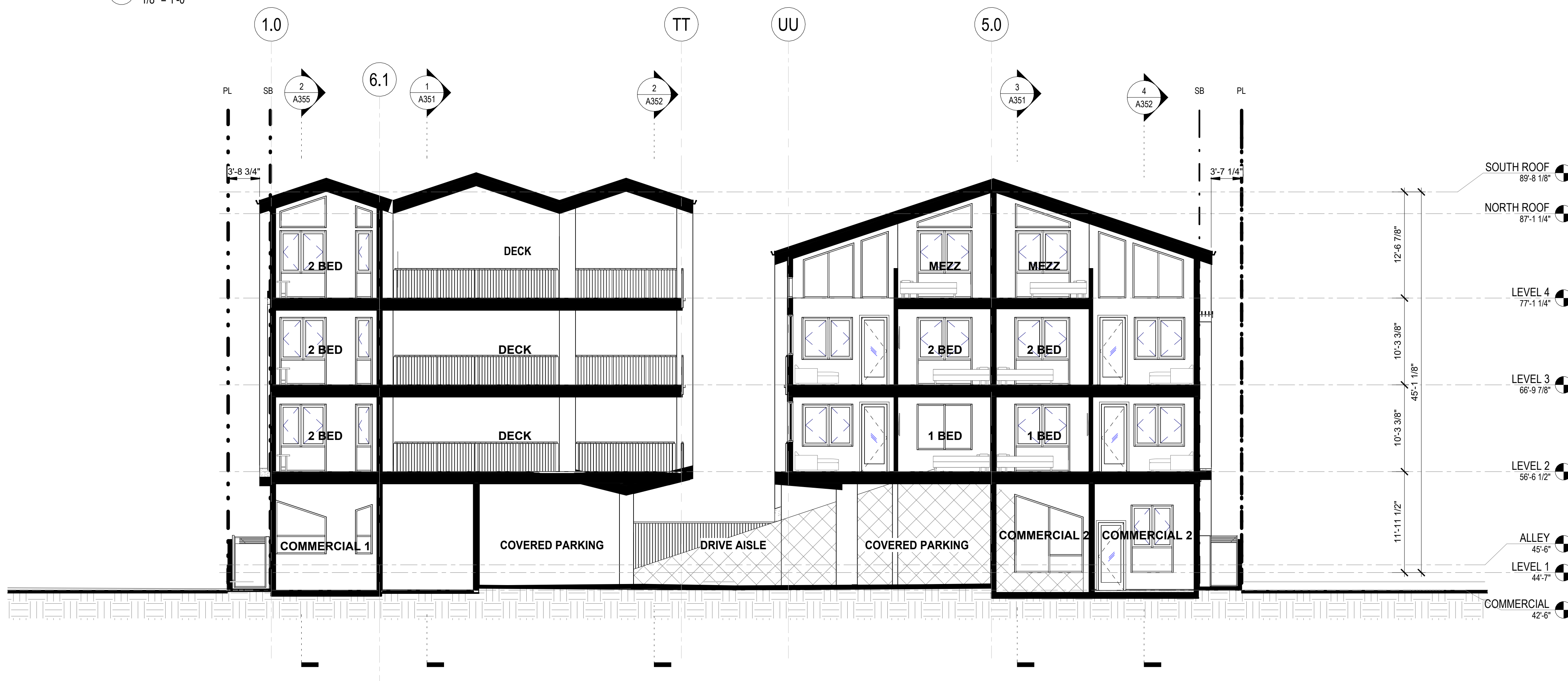
**SAF VENTURES,
LLC**

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

**SOUTH COAST
HIGHWAY
MIXED-USE**

APN: 153-111-12-00
APN: 153-111-13-00

2 SECTION 3 - TRANSVERSE
1/8" = 1'-0"



3 SECTION 4 - TRANSVERSE
1/8" = 1'-0"

NO.	ISSUANCE/REVISION	DATE
1	DEV. CONFERENCE	25/07/30

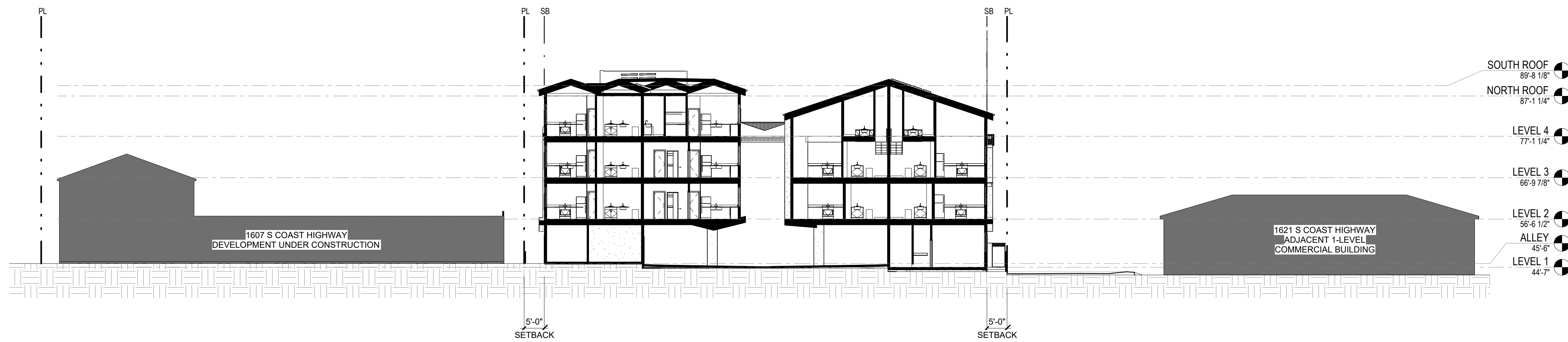
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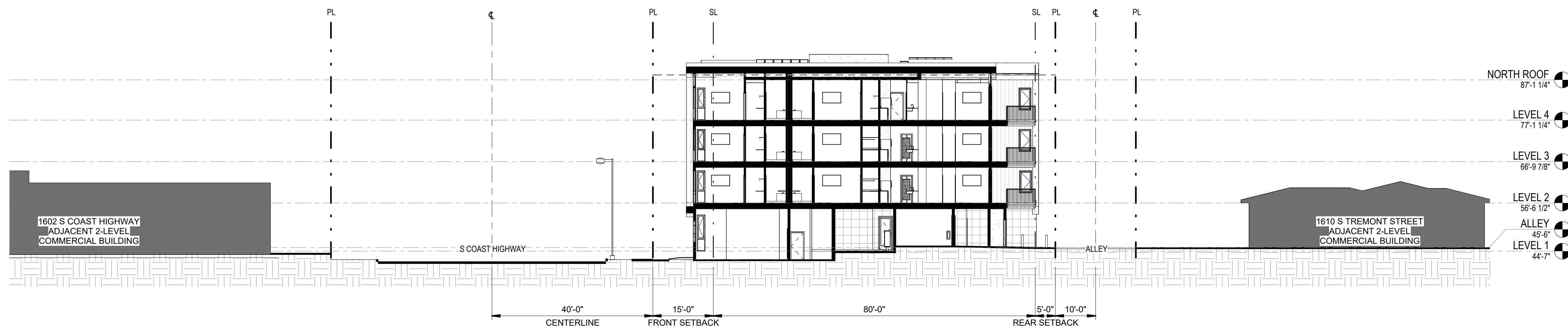
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**BUILDING
SECTIONS -
TRANSVERSE**

A354



1 SITE SECTION 1
1/16" = 1'-0"



2 SITE SECTION 2
1/16" = 1'-0"

LEGEND - BUILDING SECTIONS

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SAF VENTURES,
LLC

1609-1615 S COAST HIGHWAY
OCEANSIDE, CA 92054

SOUTH COAST
HIGHWAY
MIXED-USE

APN: 153-111-12-00
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DATE: 25-07-30 AL PROJECT NUMBER: 1-240313

SCALE: As indicated AHJ PROJECT NUMBER:

As indicated

BUILDING
SECTIONS - SITE

DEVELOPERS CONFERENCE & ZONING CODE REVIEW

**1615 & 1609 S Coast Hwy
Oceanside, CA 92054
APN: 153-111-12-00
APN: 153-111-13-00**

May 29, 2025

Prepared For:

Development Services Department, Planning Division
300 N. Coast Hwy,
Oceanside, CA 92054

Prepared By:

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- 4 Satellite Map
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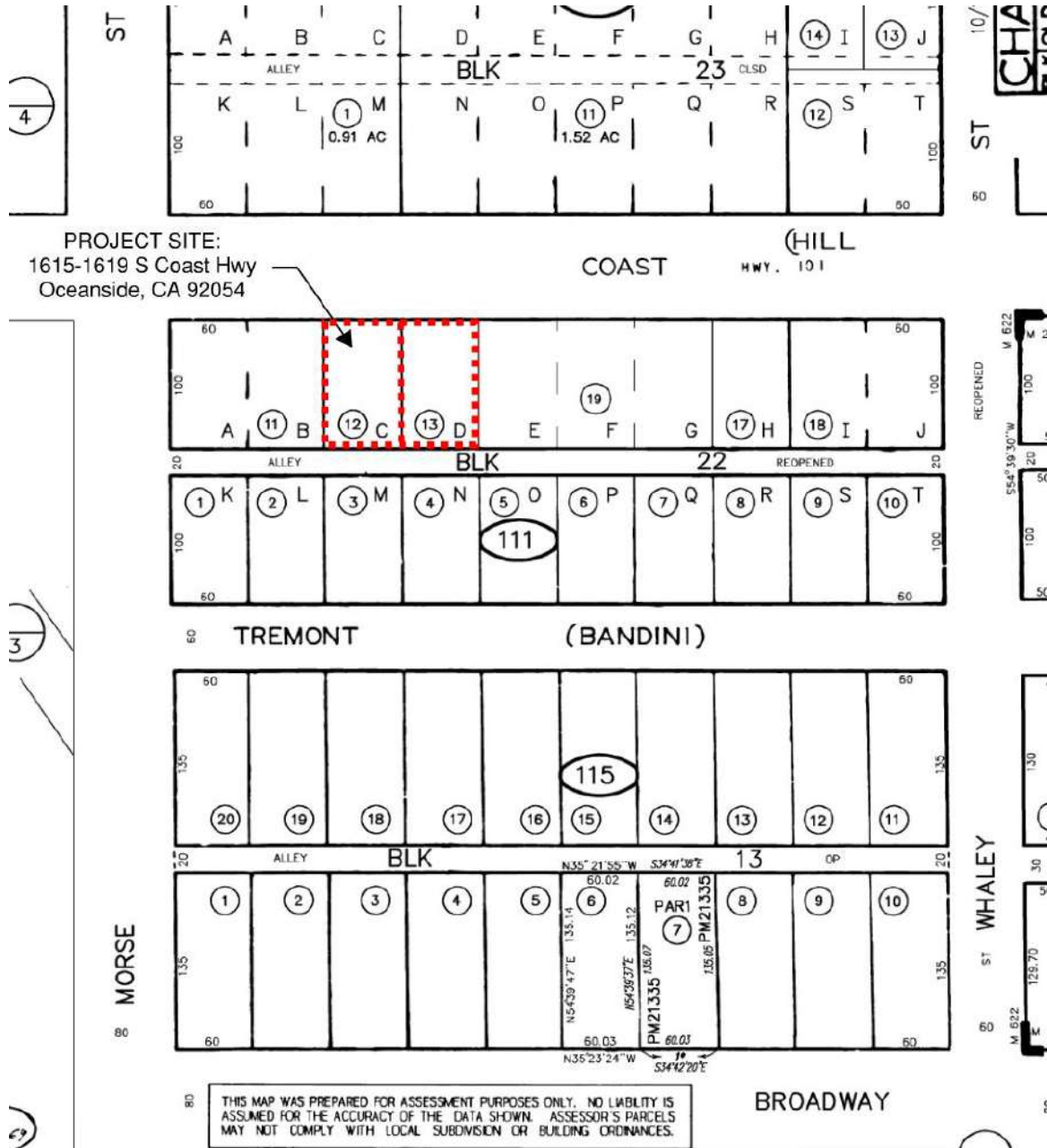
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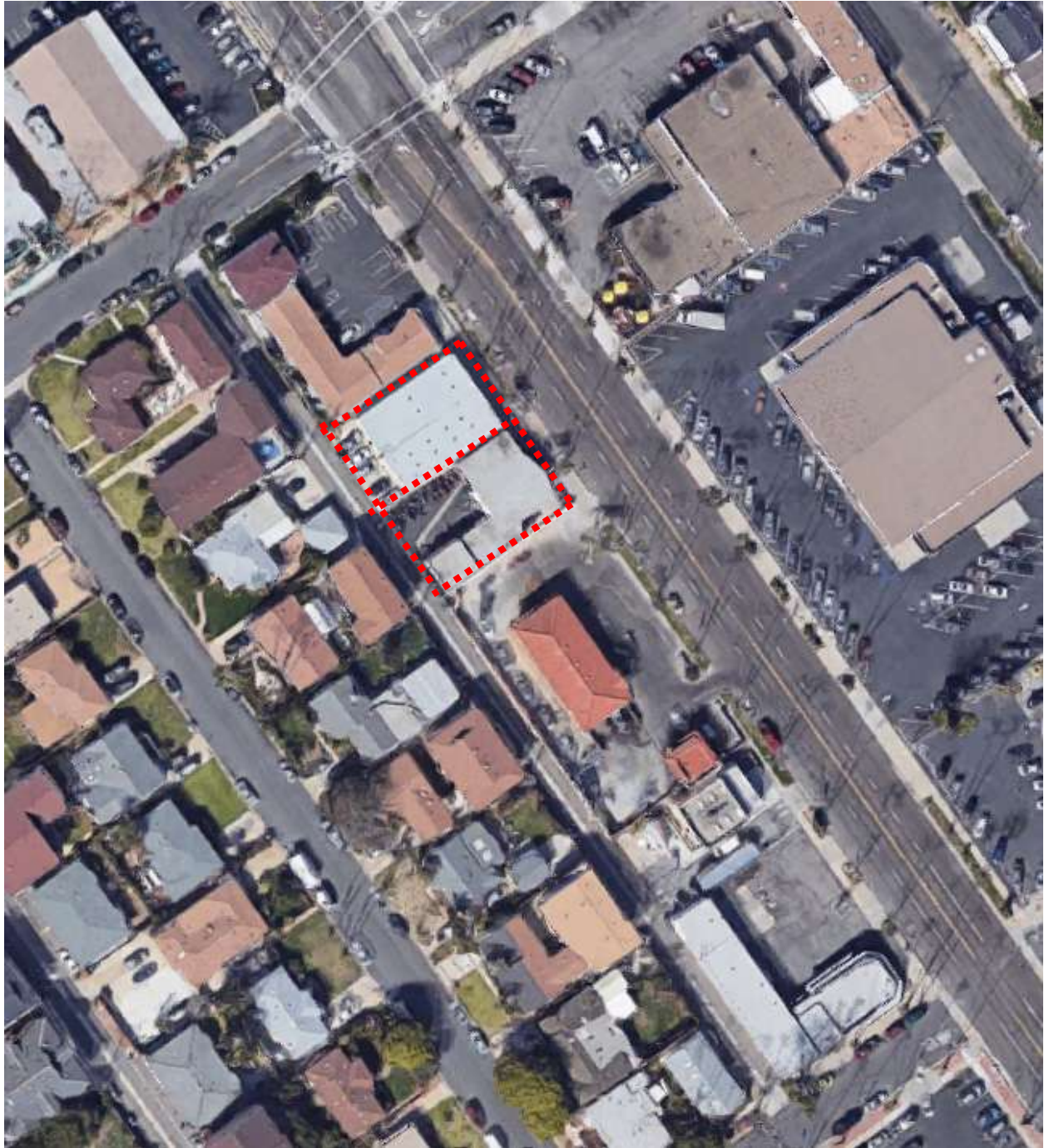
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Assessor Parcel Map



Satellite Map



Zoning Map



DEVELOPERS CONFERENCE QUESTIONS AND CONFIRMATIONS

Project Information

Address	Lot 1: 1609 S Coast Hwy Oceanside, CA 92054 Lot 2: 1615 S Coast Hwy Oceanside, CA 92054
APN	Lot 1: 153-111-12-00 Lot 2: 153-111-13-00
Zone	C-2/CZ- Limited Commercial Coastal Zone
Project Scope	New 4-Level Mixed Use Construction (28,899SF) 18 Residential Units including 2 Affordable & 2 Commercial Units

Incentives & Waivers

Question 1	How does the city of Oceanside determine eligibility for waivers and does it differ from the state code?
------------	---

Density

Question 2	Is the proposed density and affordable density bonus and incentive calculation acceptable for site development?
------------	--

Lot Size	1609 S Coast HWY - 6,000 SF 1615 S Coast HWY - 6,000 SF
----------	--

Max Permitted Residential Density	(1) dwelling unit per 1,000 square feet of lot area.
-----------------------------------	--

Base Residential Density	6000 sf / 1000 sf per DU = 6 base units 6000 sf/ 1000 sf per DU = 6 base units 10 Base Units Total
--------------------------	---

Proposed Affordable Housing Density Bonuses	<u>50% Density Bonus:</u> 12 Base Units - 2 Very Low Income Affordable Unit 2/12 = 16.6% Affordable <ul style="list-style-type: none"> • ≥15% Very Low Income Affordable = 50% Density Bonus and 4 Development Incentives • 12 x 50% Bonus = 6 Bonus Units • 18 Units Total:16 Market Rate, 2 Very Low Income
---	---

Parking

Question 3	Please confirm whether the use of development incentives and waivers can be used to reduce commercial parking to 0
Question 4	If all parking spaces are assigned, will we require a turnaround stall?
Question 5	Confirm if proposed parking is acceptable to planning
Parking Requirements	Mixed Use Required Parking (1) 1 Space required per dwelling unit (2) Twenty-five percent (25%) of the parking spaces required by the office or commercial use may be included within the parking spaces provided by the residential units. (3) New multi-family residential and nonresidential developments that include five or more parking spaces shall reserve 15 percent of parking spaces for zero-emission vehicles and equip 50 percent of these reserved spaces with Level 2 electric vehicle charging facilities
Proposed Parking	19 Residential Parking Spaces including 1 Accessible Stall 1 stall per unit No commercial parking Alley Backup Space

Height

Question 4	Please confirm whether the use of development incentives and waivers can be used to increase the overall structure height to 48 feet?
	Is overall height measured from the low project point?
Max Structure Height	Base Zone: 45/4 Stories* Residential Use: 35/3 Stories*
Proposed Structure Height	48'

Lot Coverage

Question 5	Please confirm whether the use of development incentives and waivers can be used to increase the maximum lot coverage
Maximum Lot Coverage*	60%
Max FAR	Unlimited
Max Gross Floor Area	Unlimited
Proposed Lot Coverage:	68%

Setbacks

Question 6

Please confirm whether the use of development incentives and waivers can be used for the proposed setback reductions

Residential Setbacks R-3*

(E) Front	20' (w/ 5' min. Landscape area)
(E) Side	5' (10% lot width, max 5')
(E) Rear	15'

Commercial Setbacks 11C*

(E) Front	15'
(E) Side	0
(E) Rear	5'

Proposed Residential Setbacks R-3*

(P) Front	6'
(P) Side	5'
(P) Rear	5'

Proposed Commercial Setbacks 11C*

(P) Front	6'
(P) Side	5'
(P) Rear	5'

Fire Department Connection

Question 7

Please Confirm Fire Department Connection Location is Acceptable

Please Confirm Backflow Location is Acceptable

Urban Forestry

Question 8

Please confirm whether the use of development incentives and waivers can be used to reduce the tree canopy area.

Can the tree canopy area be achieved from trees in the public right of way as a part of planned public improvements?

Please confirm whether the use of development incentives and waivers can be used to reduce the permeable surface area?

Urban forestry Program

All new development shall comply with table below:

Minimum Tree Canopy and Permeable Surface Area Requirements

Project Site Area	Minimum Tree Canopy Area	Minimum Permeable Surface Area
1 acre or more	12%	22%
1/3 acre to 1 acre	9%	16%
Less than 1/3 acre	7%	10%

Existing Permeable Area 0%
Proposed Permeable Area 6.4%

Bike and Motorcycle Requirements

Question 9

Please confirm bicycle and motorcycle if proposed bike and motorcycle parking is sufficient.

(P) Motorcycle 3 Spaces
(P) Bike 5 Spaces

Refuse

Question 10

Please confirm if the proposed refuse size is acceptable for this development

(P) Refuse 188 SF

Miscellaneous

Historic	Are there any historical requirements that must be met prior to demolition
Utility Screening	Do we need to screen HVAC, Solar, or Transformers?
Noise Study	Does this project require a noise study due to proximity to rail?
Utility Undergrounding	Will you require the undergrounding of utilities lines and data?
Accessible Pathway	Are we able to use the public right of way for the required accessible path of travel?
Strategic Plan	Is the project compliant with the area's strategic plan?

Civil Questions

- ADA Path Requirements specific to the City of Oceanside
 - Is it acceptable to have ADA path of travel between 2 points on site be placed within the City's public sidewalk if it is reinstalled to ADA standards? IE - can the path from a commercial space to a trash room cross into the public ROW on the sidewalk?
 - If not, is it approvable to have the walkway go across the internal drive aisle if it is striped, has truncated domes at the edges of the drive aisle and maintains minimum walkable widths?
- Utilities:
 - Fire:
 - There are 2 existing hydrants at the intersection of Morse St. and S Coast Hwy approximately 130' from the proposed FDC. Is this dimension between the FDC and hydrants acceptable?
 - There is an existing 6" water main in the alley. Is it acceptable to connect the project's fire service to this system assuming it will be sized 4"-6"?
 - Water
 - Will irrigation require its own tap into the main and meter or can it tee off of the project's domestic service behind the backflow?
 - Sewer
 - Please confirm that based on the scope of the proposed project, there is no issue with tying the proposed sewer into the existing 8" main in the alley and that no additional main replacement will be required.
- Parkway requirements
 - Is the existing 12' parkway width acceptable without dedications required?
 - Will enhanced requirements or allowances according to Sprinter Station Node portion of Coast Highway Vision & Strategic Plan be applicable to this project? If so, can these be clarified and defined to ensure they are provided correctly?
 - If not, can you confirm that the parkway configuration outlined below is acceptable:
 - 6" curb, 5' wide landscape strip with street trees, 5.5' wide sidewalk